

SCALE: 1" = 100'

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**  
 Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
 Signed: \_\_\_\_\_

**Approved Construction Plan**

	Date
Planning	APPROVED CONSTRUCTION PLAN
Traffic	CONSTRUCTION PLAN
Fire	CONSTRUCTION PLAN

City SW# 2006046R13

NO DENR PWBS WATER PERMIT #:	_____
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	_____
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	_____
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NOTE: TREE LOCATION SURVEY AND MAPPING  
 FEBRUARY, 2016 BY  
 MICHAEL UNDERWOOD AND ASSOCIATES, PA  
*Michael N. Underwood* 1/23/20  
 MICHAEL N. UNDERWOOD, PLS L-2962

PARCEL ADDRESS:	1202 EASTWOOD ROAD
PARCEL ID#:	R05000-004-147-000
MAP ID#:	314708.97.1975.000
PARCEL OWNER:	TRASK D WEBSTER REVOCABLE TRUST
PARCEL AREA:	73.37 ACRES (3,196,000 SF)
ZONING:	MX/R15/SHOD
SOIL TYPES:	Lo, Ly, Be, So, Jo, W
CAMA LAND USE:	WATERSHED RESOURCE PROTECTION
WETLANDS:	SEE PLAN
NO CAMA AEC OR SETBACKS WITHIN SITE AREA	
HISTORICAL SITE:	NONE
CEMETERY:	NONE
FORESTED AREA:	SEE PLAN FOR TREE SURVEY
ENDANGERED SPECIES/HABITAT:	NONE REPORTED

**SITE INVENTORY PLAN**  
 AUTUMN HALL BANK BUILDING  
 1202 EASTWOOD ROAD  
 WILMINGTON, NC  
 NEW HANOVER COUNTY

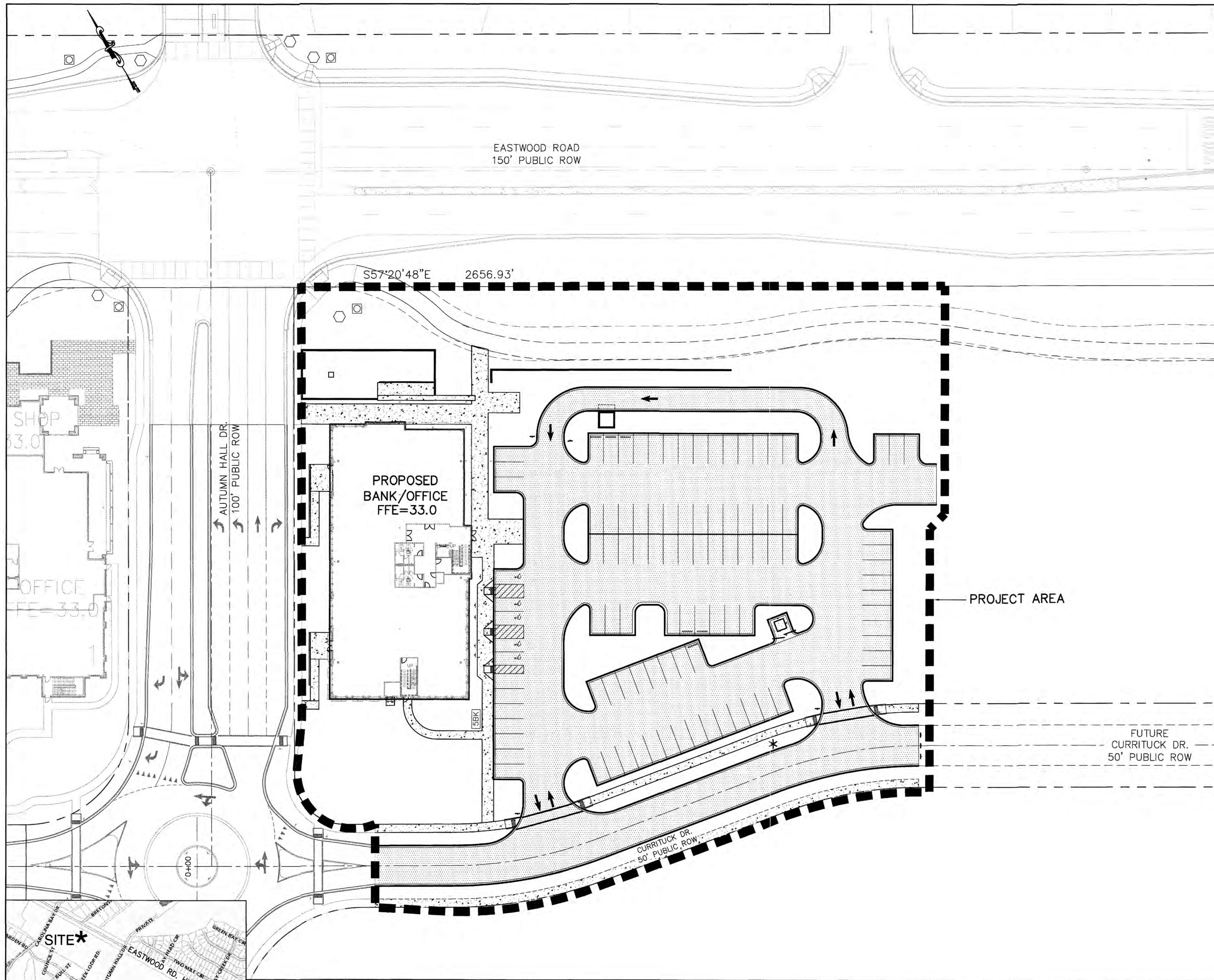
**DEVELOPER**  
 WEB TRASK, MEMBER/MANAGER  
 AUTUMN HALL BUILDING 2, LLC  
 C/O MIKE BROWN  
 1051 MILITARY CUTOFF RD.,  
 SUITE 200  
 WILMINGTON, NC 28405  
 914-1010 (P) 822-4687 (CELL)

**NORRIS & TUNSTALL**  
 CONSULTING ENGINEERS P.C.  
 2602 IRON GATE DR., SUITE 102  
 WILMINGTON, NC 28412  
 PHONE (910) 343-9633  
 FACSIMILE (910) 287-5900

License #C-3641

**19142**

DES.	JST
ORD.	JFN
DRAWN.	NKS
DATE	01/22/20



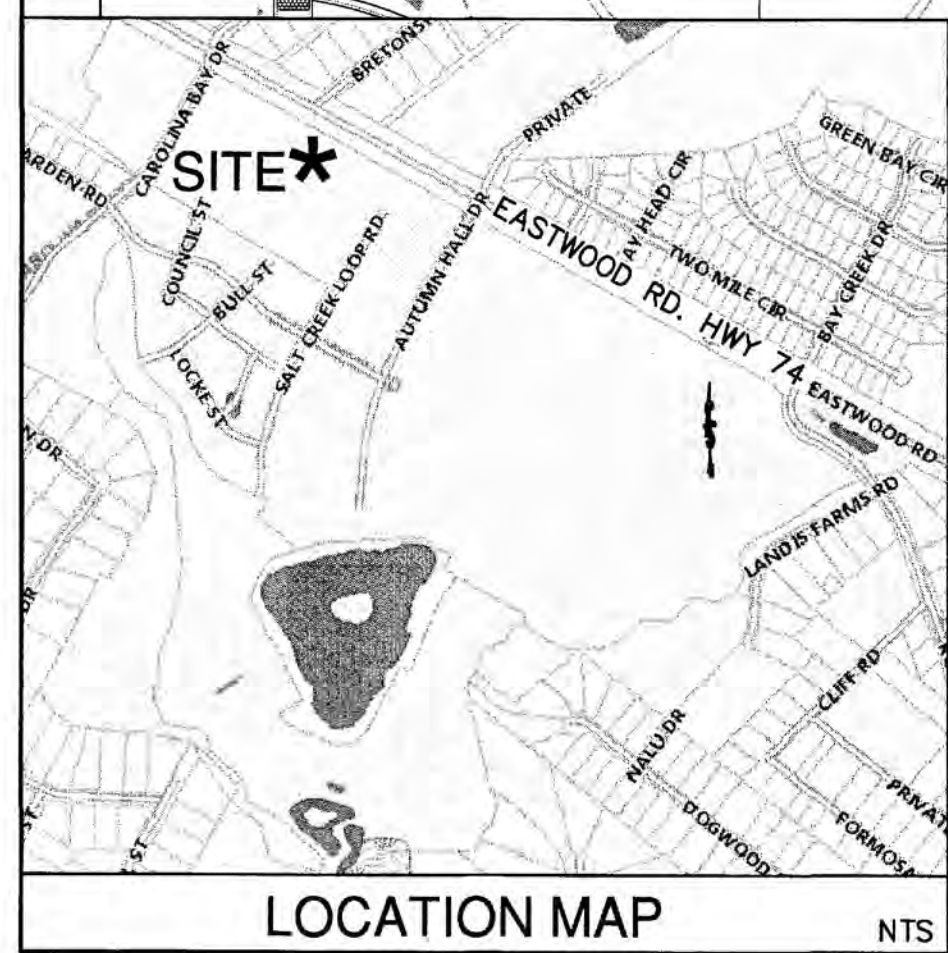
SITE DATA TABLE	
USE:	BANK/OFFICE
PARCEL AREA:	73.37 ACRES (3,198,000 SF)
PARCEL ID#:	R05000-004-147-000
PARCEL OWNER:	TRASK D WEBSTER REVOCABLE TRUST
MAP ID#:	314708.97.1975.000
ADDRESS:	1202 EASTWOOD ROAD
ZONING:	MX/SHOD
CAMA LAND USE:	WATERSHED RESOURCE PROTECTION
BUILDING SETBACKS MX: (REQUIRED)	20' MIN. FROM MX BOUNDARY 50' MIN. FROM US AND NC HIGHWAYS AND MAJOR THOROUGHFARES INTERIOR: NO MINIMUM, WITHIN 10' OF INTERNAL STREET R/W PREFERRED.
BUILDING SETBACKS: (PROPOSED)	BANK BUILDING: 8' (SEE LAYOUT PLAN) ATM BUILDING: 75' (SEE LAYOUT PLAN)
SHOD SETBACKS:	BUILDING: 100' (75' MIN. WITH 25% SHOD REDUCTION) PARKING: 50' (37.5' MIN. WITH 25% SHOD REDUCTION) INTERIOR SIDE: 20' *ADDITIONAL STREETYARD PLANTINGS ARE REQUIRED WHEN TAKING THE SHOD 25% REDUCTION
PROJECT AREA:	130,300 SF (3.00 AC) LOT=113,043 SF ROW=17,257 SF
BUILDING LOT COVERAGE:	12.16% ±
PROPOSED BUILDING:	BANK SF (FOOTPRINT): 27,500± (13,750± PER FLOOR) BANK AREA: 3,474 SF OFFICE AREA: 24,026 SF BUILDING HEIGHT: 37± (2 STORIES) CONSTRUCTION TYPE: V-A
PARKING REQUIREMENT: PER USE, NO MINIMUM REQUIREMENT IN MX ZONE	
OFFICE:	1 PER 200 SF GFA MAX. 1 PER 300 SF GFA MIN.
BANK:	1 PER 200 SF GFA MAX. 1 PER 400 SF GFA MIN.
PARKING REQUIRED:	137 MAX, 89 MIN.
PARKING PROPOSED:	100 TOTAL
HC PARKING REQUIRED:	5 PROPOSED: 5
BICYCLE PARKING REQUIRED:	5 PROPOSED: 5
LANDSCAPING:	SEE PLANS BY MIHALY LAND DESIGN -FOUNDATION PLANTINGS (12X) -LANDSCAPING REQ'D INTERIOR (AS PER O&I REGULATIONS): -STREET TREES ARE REQUIRED ALONG ALL STREETS AND SHALL BE A MIN. 3" CALIPER LOCATED AT MIN. 50' O.C.
OPEN SPACE FOR MX DEVELOPMENT:	35% (10% COMMON/25% OPEN)
TRASH SERVICE:	DUMPSTER/HANDCART DISTURBED AREA LIMITS: 5.27± ACRES
WATER/SEWER DEMANDS	
BUSINESS OCCUPANCY =	228 OCCUPANTS X 25 GPD/PERSON = 5,700 GPD

IMPERVIOUS AREA:	
EXISTING ON SITE:	MUP: 3,500 SF
PROPOSED ON SITE:	
BUILDING:	13,750 SF
ASPHALT/CONCRETE/C&G:	44,366 SF
SIDEWALK/COURTYARDS:	5,900 SF
TOTAL:	64,016 SF
% IMPERVIOUS:	49.12 %
PROPOSED OFF SITE (ROW):	
ASPHALT/CONCRETE/C&G:	9,584 SF
SIDEWALK:	3,000 SF
TOTAL:	12,584 SF
PROPOSED ON AND OFF SITE (ROW):	
TOTAL:	80,100 SF
% IMPERVIOUS:	61.47%

TRAFFIC TABLE: (BY RAMEY KEMP & ASSOCIATES, INC.)							
ITE Land Use (Code)	Density	Variable	Daily Traffic	AM Peak		PM Peak	
				Enter	Exit	Enter	Exit
General Office (710)	24.026	Th. Sq. Ft.	234	31	4	6	28
Drive-In Bank (912)	3.474	Th. Sq. Ft.	348	19	14	35	36
			582	50	18	41	64
Total			582	68		105	

**LEGEND**

---	PROPERTY LINE
---	DISTURBED AREA LIMITS
---	PROPOSED CONTOUR
X X	TEMPORARY SILT FENCE
SD	PROPOSED STORMDRAIN PIPE
SW	PROPOSED WATERLINE
SS	PROPOSED SANITARY SEWER (GRAVITY)
41.35	PROPOSED SPOT ELEVATION FLOW LINE
41.85	PROPOSED SPOT ELEVATION TOP OF CURB
41.85	PROPOSED SPOT ELEVATION FINISH GRADE
⊘	FLARED END SECTION WITH RIP-RAP ENERGY DISSIPATOR
⊘	DROP INLET WITH INLET PROTECTION (DI)
⊘	CURB INLET WITH INLET PROTECTION (CI)
⊘	JUNCTION BOX WITH INLET PROTECTION (JB)
⊘	PROPOSED FIRE HYDRANT
---	EXISTING CONTOUR
15"P	EXISTING TREE TO BE SAVED
15"P	EXISTING TREE TO BE REMOVED
TP - TP	TREE PROTECTION FENCING
▨	PROPOSED ASPHALT
▨	PROPOSED CONCRETE

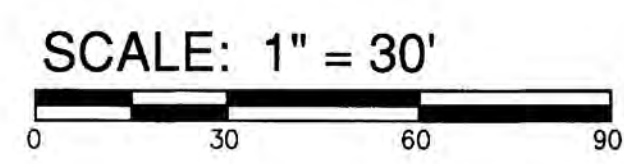


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NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

Approved Construction Plan	
Name	Date
Planning: APPROVED	
CONSTRUCTION PLAN	
Traffic: Jeff Walton	
4/3/2020	
Fire: City SW# 2006046R13	

NC DENR PWSS WATER PERMIT #:	
WATER CAPACITY:	_____ GPD
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AUTUMN HALL BANK BUILDING  
5615 CURRITUCK DRIVE  
WILMINGTON, NC  
NEW HANOVER COUNTY

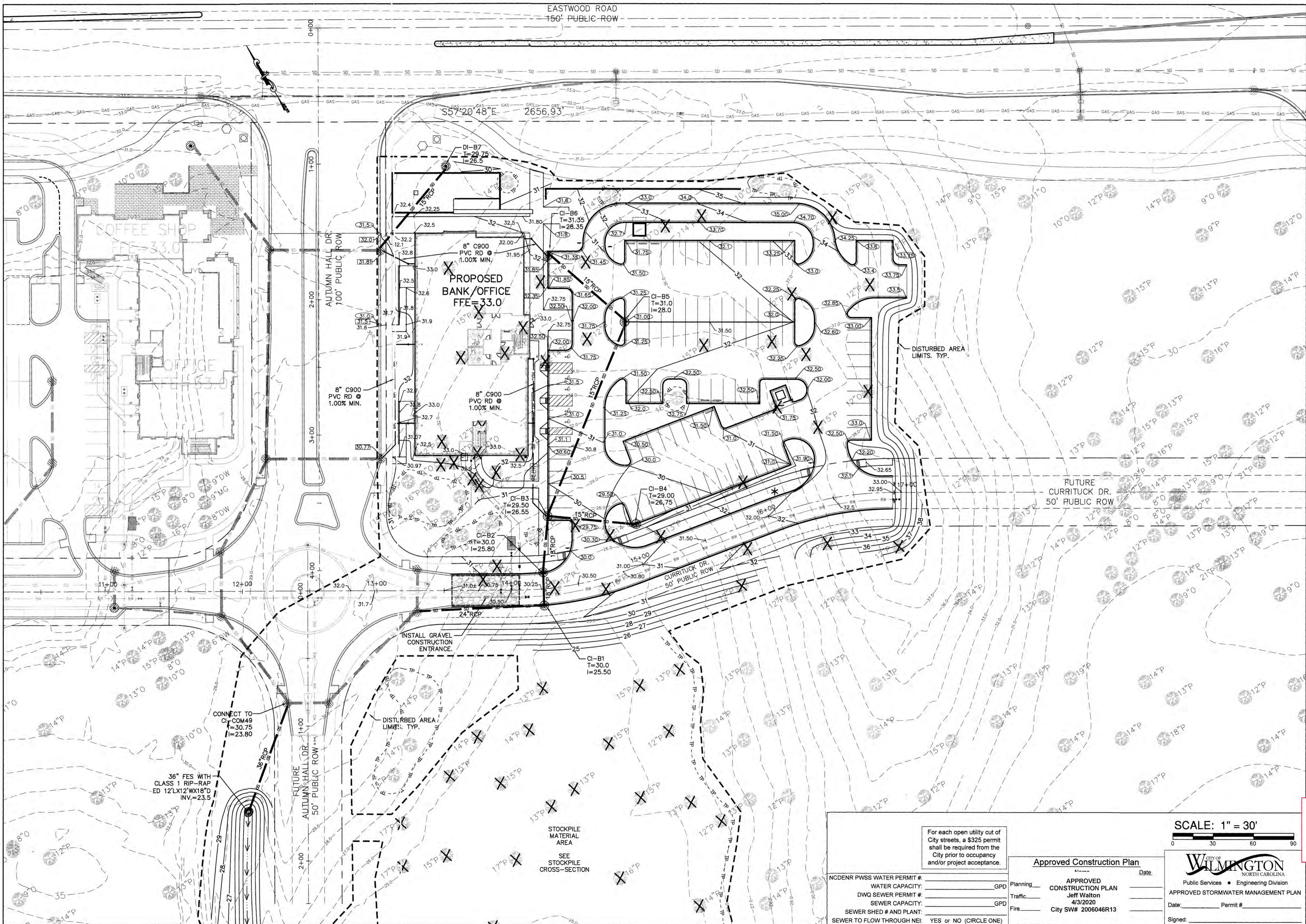
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Licence #C-3641	
19142	
DES. JST	
CKD. JPN	
DRWN. NKS	
DATE	03/02/20

**C0**  
PRELIMINARY

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**GRADING, DRAINAGE AND EROSION CONTROL PLAN**  
**AUTUMN HALL BANK BUILDING**  
 1202 EASTWOOD ROAD  
 WILMINGTON, NC  
 NEW HANOVER COUNTY

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 WILMINGTON, NC 28403  
 PHONE (910) 285-5900

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**19142**  
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 OKD. JPN  
 DRWN. NKS  
 DATE 02/21/20

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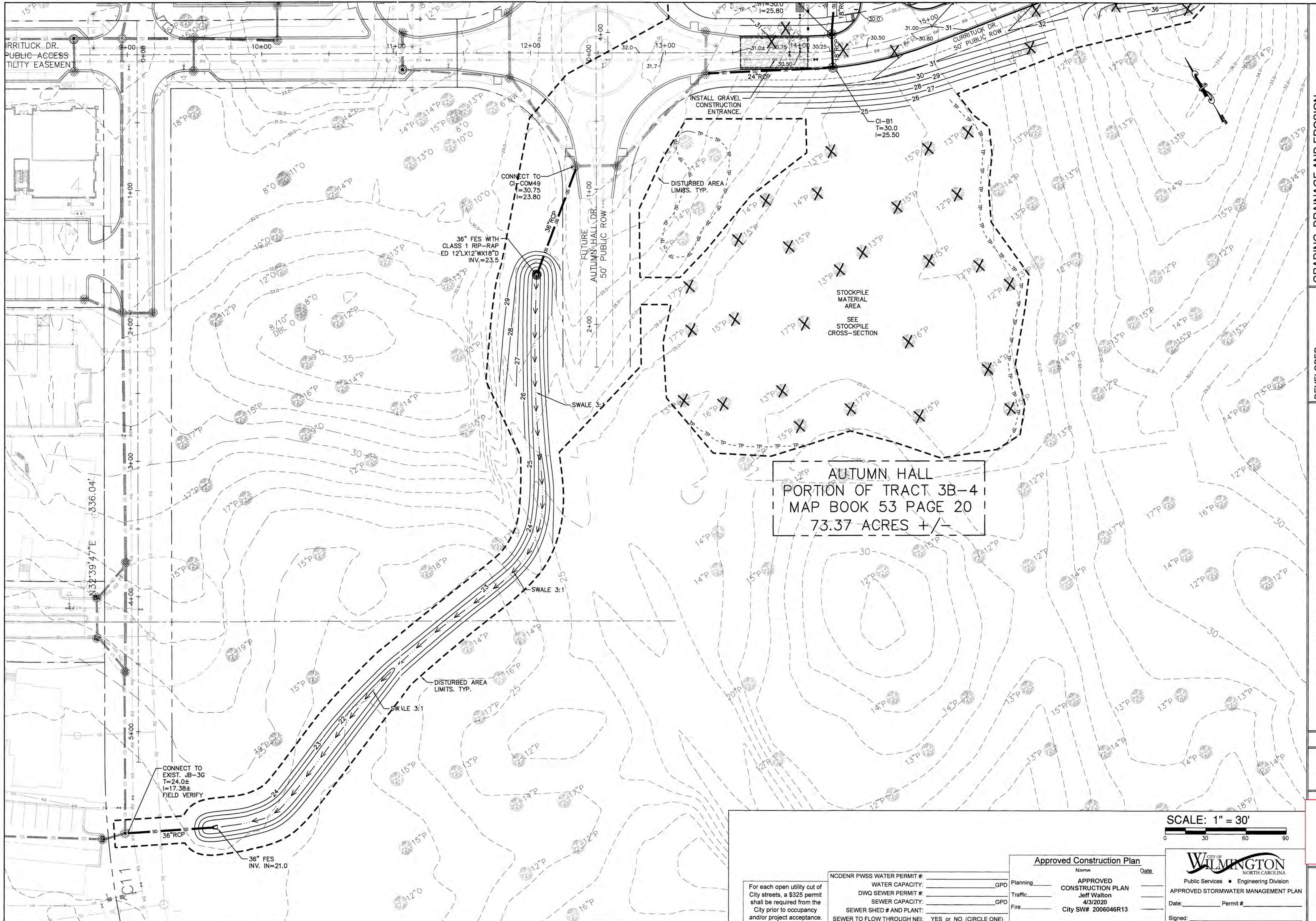
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SEWER CAPACITY:	_____	GPD
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**Approved Construction Plan**  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_  
 APPROVED CONSTRUCTION PLAN  
 Jeff Walton  
 4/3/2020  
 City SW# 2006046R13

SCALE: 1" = 30'  
  
  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

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**GRADING, DRAINAGE AND EROSION CONTROL PLAN**  
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 NEW HANOVER COUNTY

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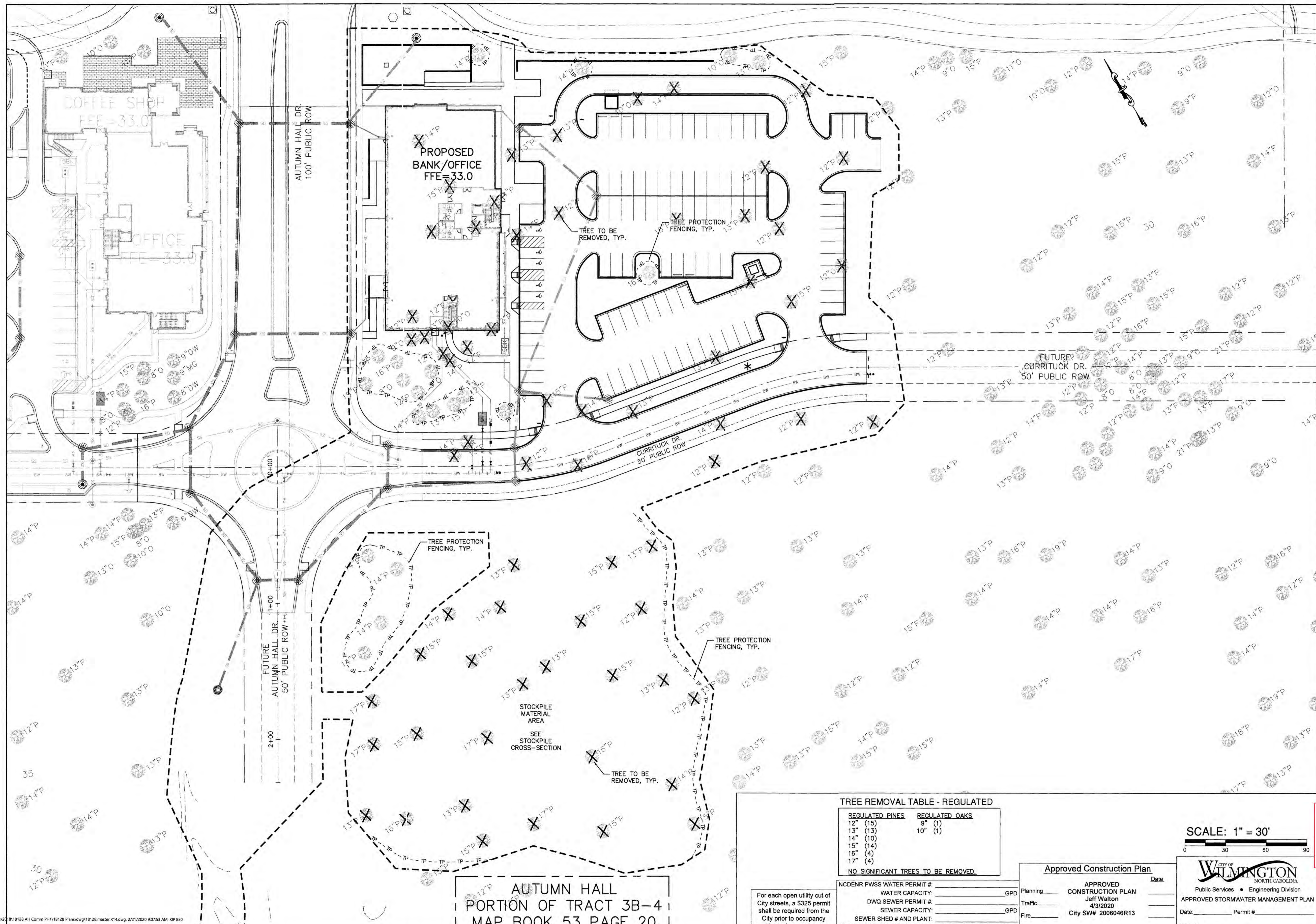
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 CDR. JPN  
 DRWN. NKS  
 DATE 02/21/20

SCALE: 1" = 30'  
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For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.	NCDENR PWSS WATER PERMIT #: _____ GPD WATER CAPACITY: _____ GPD	Planning _____ Traffic _____ Fire _____	<b>Approved Construction Plan</b> Name: <b>Jeff Walton</b> Date: <b>4/3/2020</b> City SW# <b>2006046R13</b>	<b>CITY OF WILMINGTON</b> NORTH CAROLINA Public Services • Engineering Division <b>APPROVED STORMWATER MANAGEMENT PLAN</b> Date: _____ Permit # _____ Signed: _____
	DWQ SEWER PERMIT #: _____ SEWER CAPACITY: _____ GPD	Sewer Shed # and Plant: _____ Sewer to Flow Through NEI: YES or NO (CIRCLE ONE)	Approved Construction Plan Name: Jeff Walton Date: 4/3/2020 City SW# 2006046R13	Approved Stormwater Management Plan Date: _____ Permit # _____ Signed: _____
	SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)	Approved Construction Plan Name: Jeff Walton Date: 4/3/2020 City SW# 2006046R13	Approved Stormwater Management Plan Date: _____ Permit # _____ Signed: _____	Approved Stormwater Management Plan Date: _____ Permit # _____ Signed: _____
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**C1.1**

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AUTUMN HALL  
 PORTION OF TRACT 3B-4  
 MAP BOOK 53 PAGE 20

**TREE REMOVAL TABLE - REGULATED**

REGULATED PINES	REGULATED OAKS
12" (15)	9" (1)
13" (13)	10" (1)
14" (10)	
15" (14)	
16" (4)	
17" (4)	

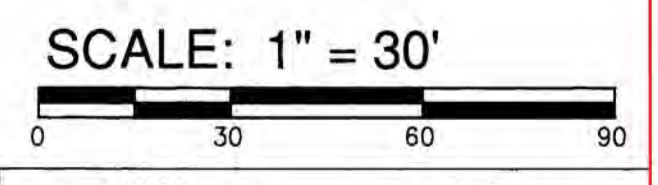
NO SIGNIFICANT TREES TO BE REMOVED.

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_  
 WATER CAPACITY: \_\_\_\_\_ GPD  
 DWQ SEWER PERMIT #: \_\_\_\_\_  
 SEWER CAPACITY: \_\_\_\_\_ GPD  
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**Approved Construction Plan**

DATE: \_\_\_\_\_

APPROVED CONSTRUCTION PLAN  
 Jeff Walton  
 4/3/2020  
 City SW# 2006046R13



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 NORTH CAROLINA  
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APPROVED STORMWATER MANAGEMENT PLAN

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 Signed: \_\_\_\_\_

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 NEW HANOVER COUNTY

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 1051 MILITARY CUTOFF RD.,  
 SUITE 200  
 WILMINGTON, NC 28405  
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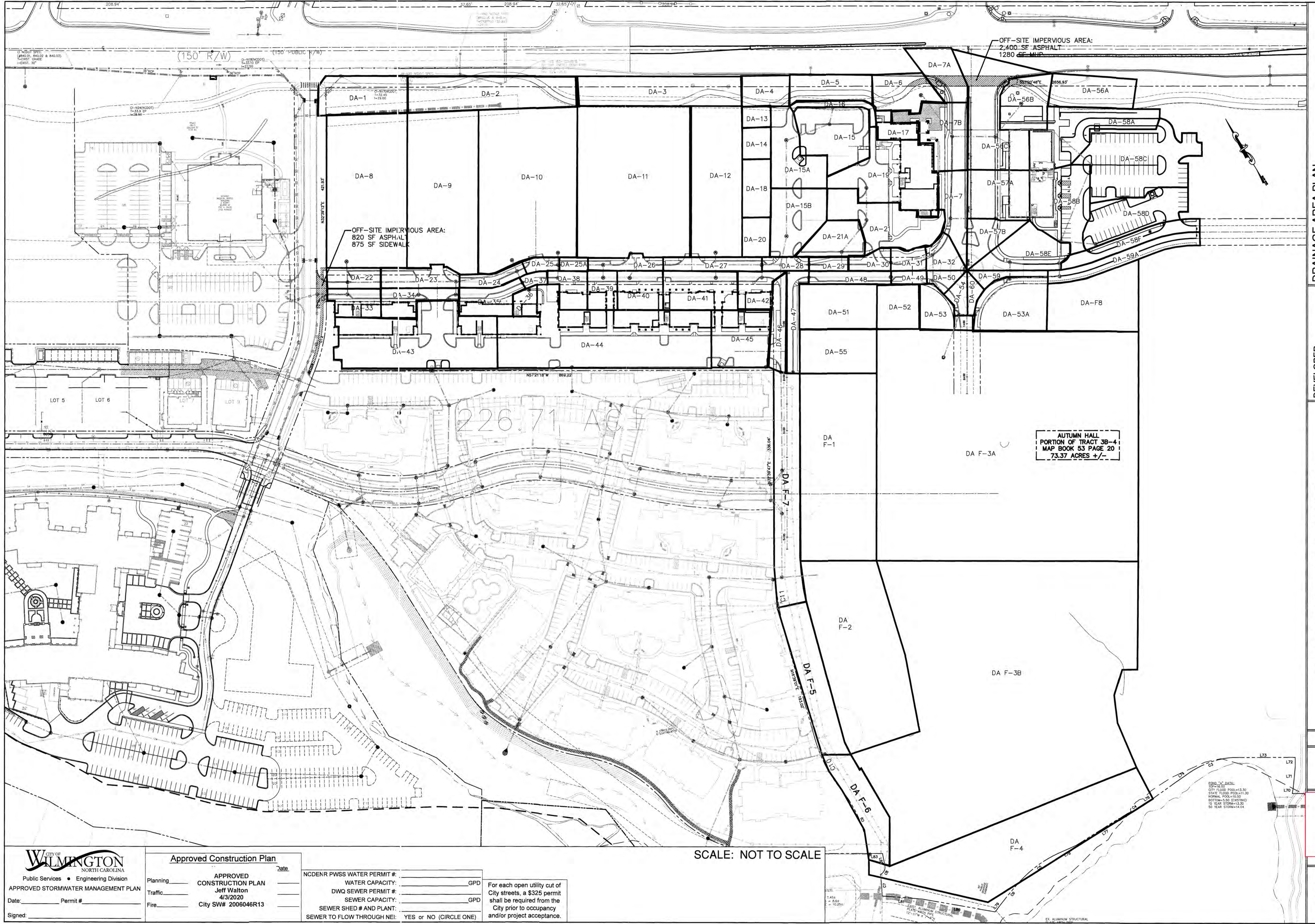
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 DES: JST  
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 DATE: 02/21/20

**C1.2**

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**DRAINAGE AREA PLAN**  
**AUTUMN HALL BANK BUILDING**  
 1202 EASTWOOD ROAD  
 WILMINGTON, NC  
 NEW HANOVER COUNTY

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Licence #C-3641  
**19142**  
 DES. JST  
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 DATE 10/18/19

**C1.3**

SCALE: NOT TO SCALE

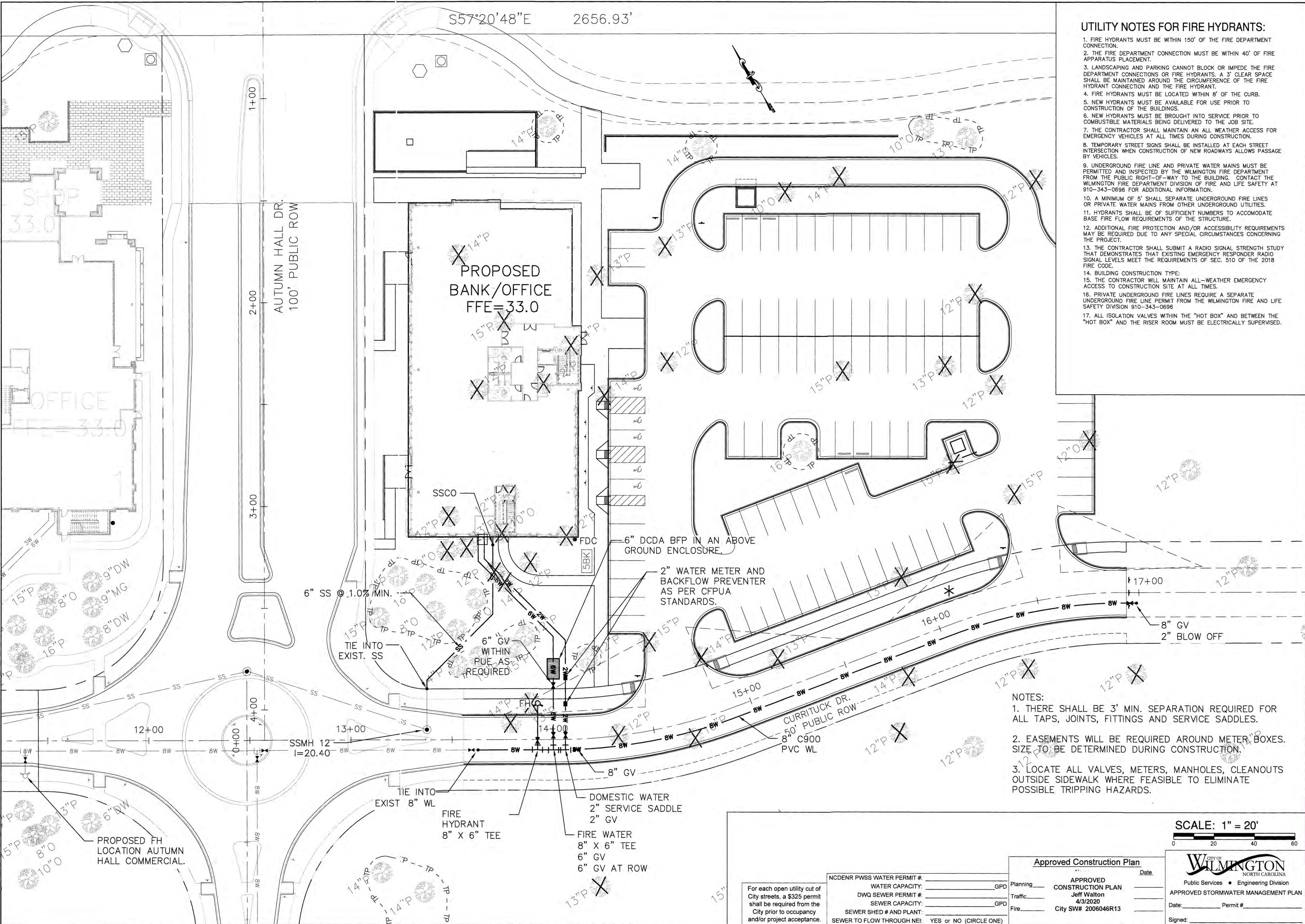
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 Signed: \_\_\_\_\_

**Approved Construction Plan**  
 Planning \_\_\_\_\_ APPROVED CONSTRUCTION PLAN  
 Traffic \_\_\_\_\_ CONSTRUCTION PLAN  
 Fire \_\_\_\_\_ City SW# 2006046R13  
 Date: 4/3/2020  
 Approved by: Jeff Walton

NCDENR PWSS WATER PERMIT #:	_____	GPD
WATER CAPACITY:	_____	GPD
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SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)	

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NO. 20 DATE: \_\_\_\_\_  
 REVISION: \_\_\_\_\_  
 CITY FLOOD POOL=13.50  
 STATE FLOOD POOL=11.50  
 NORMAL POOL=10.50  
 BOTTOM=9.50 (EVENING)  
 10 YEAR STORM=13.50  
 50 YEAR STORM=14.00

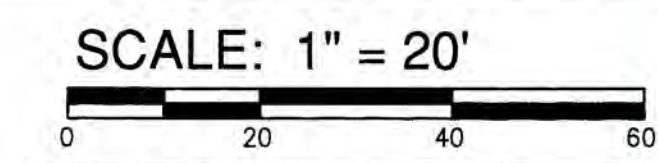


**UTILITY NOTES FOR FIRE HYDRANTS:**

1. FIRE HYDRANTS MUST BE WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION.
2. THE FIRE DEPARTMENT CONNECTION MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
3. LANDSCAPING AND PARKING CANNOT BLOCK OR IMPEDE THE FIRE DEPARTMENT CONNECTIONS OR FIRE HYDRANTS. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE FIRE HYDRANT CONNECTION AND THE FIRE HYDRANT.
4. FIRE HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
5. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS.
6. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
7. THE CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
8. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.
9. UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
10. A MINIMUM OF 8" SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
11. HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF THE STRUCTURE.
12. ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
13. THE CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SEC. 510 OF THE 2018 FIRE CODE.
14. BUILDING CONSTRUCTION TYPE:
15. THE CONTRACTOR WILL MAINTAIN ALL-WEATHER EMERGENCY ACCESS TO CONSTRUCTION SITE AT ALL TIMES.
16. PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696
17. ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM MUST BE ELECTRICALLY SUPERVISED.

**NOTES:**

1. THERE SHALL BE 3' MIN. SEPARATION REQUIRED FOR ALL TAPS, JOINTS, FITTINGS AND SERVICE SADDLES.
2. EASEMENTS WILL BE REQUIRED AROUND METER BOXES. SIZE TO BE DETERMINED DURING CONSTRUCTION.
3. LOCATE ALL VALVES, METERS, MANHOLES, CLEANOUTS OUTSIDE SIDEWALK WHERE FEASIBLE TO ELIMINATE POSSIBLE TRIPPING HAZARDS.



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Fire	City SW# 2006046R13	_____

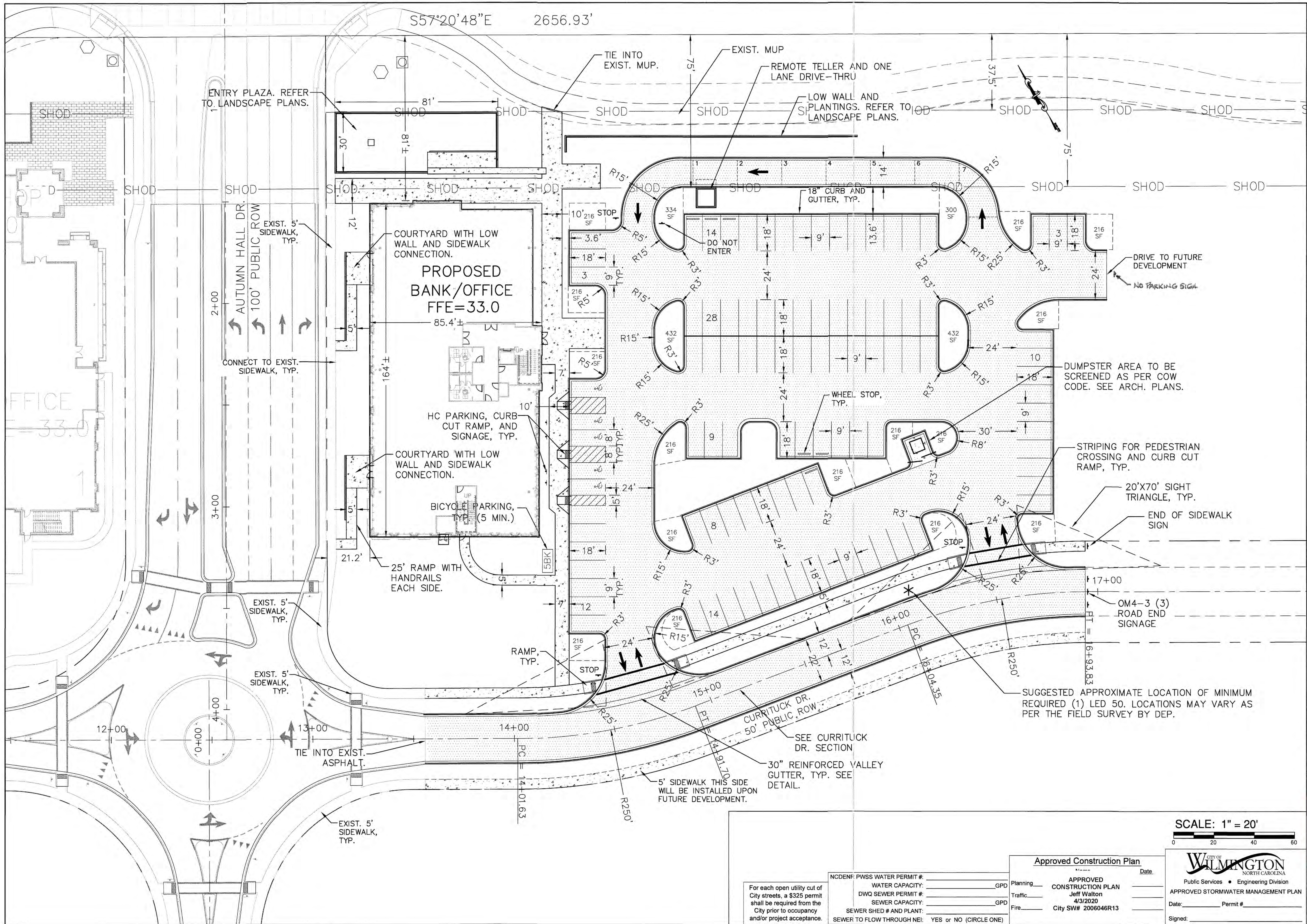
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**C2**



**LAYOUT PLAN**  
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 5615 CURRITUCK DRIVE  
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 WILMINGTON, NC 28412  
 PHONE (910) 343-9653  
 1429 ASH-LITTLE RIVER RD. NW  
 ASH, NC 28620  
 PHONE (910) 285-5900

Licence #C-3641  
**19142**  
 DES. JST  
 CKD. JPN  
 DRWN. NKS  
 DATE 03/26/20

**C3**  
 PRELIMINARY

SCALE: 1" = 20'  
 0 20 40 60



**Approved Construction Plan**  
 Planning \_\_\_\_\_ Date \_\_\_\_\_  
 APPROVED CONSTRUCTION PLAN  
 Traffic \_\_\_\_\_ Jeff Walton  
 Fire \_\_\_\_\_ City SW# 2006046R13  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NDENF: PWSS WATER PERMIT #: \_\_\_\_\_ GPD  
 WATER CAPACITY: \_\_\_\_\_ GPD  
 DWQ SEWER PERMIT #: \_\_\_\_\_ GPD  
 SEWER CAPACITY: \_\_\_\_\_ GPD  
 SEWER SHED # AND PLANT: \_\_\_\_\_  
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

SUGGESTED APPROXIMATE LOCATION OF MINIMUM REQUIRED (1) LED 50. LOCATIONS MAY VARY AS PER THE FIELD SURVEY BY DEP.

STRIPING FOR PEDESTRIAN CROSSING AND CURB CUT RAMP, TYP.  
 20'X70' SIGHT TRIANGLE, TYP.  
 END OF SIDEWALK SIGN

DUMPSTER AREA TO BE SCREENED AS PER COW CODE. SEE ARCH. PLANS.

DRIVE TO FUTURE DEVELOPMENT  
 NO PARKING SIGN

30" REINFORCED VALLEY GUTTER, TYP. SEE DETAIL.

5' SIDEWALK THIS SIDE WILL BE INSTALLED UPON FUTURE DEVELOPMENT.

SEE CURRITUCK DR. SECTION

EXIST. 5' SIDEWALK, TYP.

EXIST. 5' SIDEWALK, TYP.

EXIST. 5' SIDEWALK, TYP.

CONNECT TO EXIST. SIDEWALK, TYP.

EXIST. 5' SIDEWALK, TYP.

ENTRY PLAZA. REFER TO LANDSCAPE PLANS.

**PROPOSED BANK/OFFICE**  
 FFE=33.0

COURTYARD WITH LOW WALL AND SIDEWALK CONNECTION.

COURTYARD WITH LOW WALL AND SIDEWALK CONNECTION.

BICYCLE PARKING, TYP. (5 MIN.)

HC PARKING, CURB CUT RAMP, AND SIGNAGE, TYP.

COURTYARD WITH LOW WALL AND SIDEWALK CONNECTION.

LOW WALL AND PLANTINGS. REFER TO LANDSCAPE PLANS.

REMOTE TELLER AND ONE LANE DRIVE-THRU

TIE INTO EXIST. MUP.

EXIST. MUP

S57°20'48"E 2656.93'



**NOTE:** THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 80% OF MOST TREE ROOTS ARE FOUND IN THE TOP 40" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

**NOTE:** CROWN OF THE TREE IS NEEDED FOR LEAF COVER TO PRODUCE OXYGEN, FILTERS THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISRUPT CROWN WITH INTENSIVE PRUNING.

**NOTE:** CRZ OF TREE IS NEEDED FOR LEAF COVER TO PRODUCE OXYGEN, FILTERS THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISRUPT CROWN WITH INTENSIVE PRUNING.

**NOTES:**

1. ADJUST CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BROWST HEIGHT (DBH).
3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MOUND AND/OR LEADING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED, DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. OCCURRENCE CANNOT BE MORE THAN ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

**STANDARD DETAIL**  
**TREE PROTECTION DURING CONSTRUCTION**  
 SHEET 1 of 2  
 SD 15-09

**STANDARD DETAIL**  
**TREE PROTECTION DURING CONSTRUCTION**  
 SHEET 2 of 2  
 SD 15-09

**STANDARD DETAIL**  
**CROSSWALK PAVEMENT MARKINGS**  
 SHEET 1 of 1  
 SD 11-11

**STANDARD DETAIL**  
**CURBING**  
 SHEET 1 of 1  
 SD 3-11

**CITY OF WILMINGTON STANDARD NOTES:**

1. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
2. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
3. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
5. INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
6. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
7. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
8. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. POSTED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
9. CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON TRAFFIC ENGINEERING REGARDING THE UTILITIES IN THE RIGHT-OF-WAY.
10. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5899 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
11. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.
12. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
13. PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
14. IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
15. ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6556 FOR INFORMATION.
16. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCCOHR OR ASSE.
17. WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED SINGLE STRAND COPPER WIRE INSTALLED THE ENTIRE LENGTH AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
18. THE NUMBER AND SPACING OF DRIVEWAYS FOR ALL INTERCONNECTED SITES WILL BE DETERMINED BY THE COMBINED FRONTAGE OF THE INTERCONNECTED PROPERTIES.
19. UNDERGROUND FIRE LINE MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC ROW TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
20. A LANDSCAPE PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEER DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
21. IF AND IRRIGATION SYSTEM IS PLANNED FOR THE SITE, UTILIZE MOISTURE SENSORS.
22. ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
23. PLEASE CONSIDER INCORPORATING XERIC LANDSCAPING FOR ALL NEW LANDSCAPING.
24. THE CONTRACTOR WILL MAINTAIN ALL-WEATHER EMERGENCY ACCESS TO CONSTRUCTION SITE AT ALL TIMES.
25. STREET TREES MUST BE LOCATED A MINIMUM OF 15' FROM STREET LIGHTS.

**NOTES AND DETAILS**  
 AUTUMN HALL BANK BUILDING  
 1202 EASTWOOD ROAD  
 WILMINGTON, NC  
 NEW HANOVER COUNTY

**DEVELOPER**  
 WEB TRASK, MEMBER/MANAGER  
 AUTUMN HALL BUILDING 2, LLC  
 C/O MIKE BROWN  
 1051 MILITARY CUTOFF RD.,  
 SUITE 200  
 WILMINGTON, NC 28405  
 344-1010 (P) 622-4657 (CELL)

**NORRIS & TUNSTALL**  
 CONSULTING ENGINEERS P.C.  
 2602 IRON GATE DR., SUITE 102  
 WILMINGTON, NC 28412  
 PHONE (910) 343-9653  
 1429 ASH-LITTLE RIVER RD. NW  
 ASH, NC 28420  
 PHONE (910) 267-5900

**STANDARD DETAIL**  
**ACCESSIBLE PARKING SIGNS**  
 INSTALLATION DETAILS  
 SHEET A1 OF 5  
 SD 15-09

**STANDARD DETAIL**  
**ACCESSIBLE PARKING SIGNS**  
 INSTALLATION DETAILS  
 SHEET A2 OF 5  
 SD 15-09

**STANDARD DETAIL**  
**SIDEWALK**  
 SHEET 1 of 1  
 SD 3-10

**STANDARD DETAIL**  
**SIDEWALK, CURB CUT AND WHEEL CHAIR RAMP DETAIL**  
 SHEET 1 of 1  
 SD 3-10

**STANDARD DETAIL**  
**CURRITUCK DRIVE SECTION**  
 NOT TO SCALE

**STANDARD DETAIL**  
**SPILL-OFF CURB SECTION**  
 NOT TO SCALE

**STANDARD DETAIL**  
**FLOW LINE CURB SECTION**  
 NOT TO SCALE

**STANDARD DETAIL**  
**PARKING LOT PAVEMENT SECTION**  
 NOT TO SCALE

**Approved Construction Plan**

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

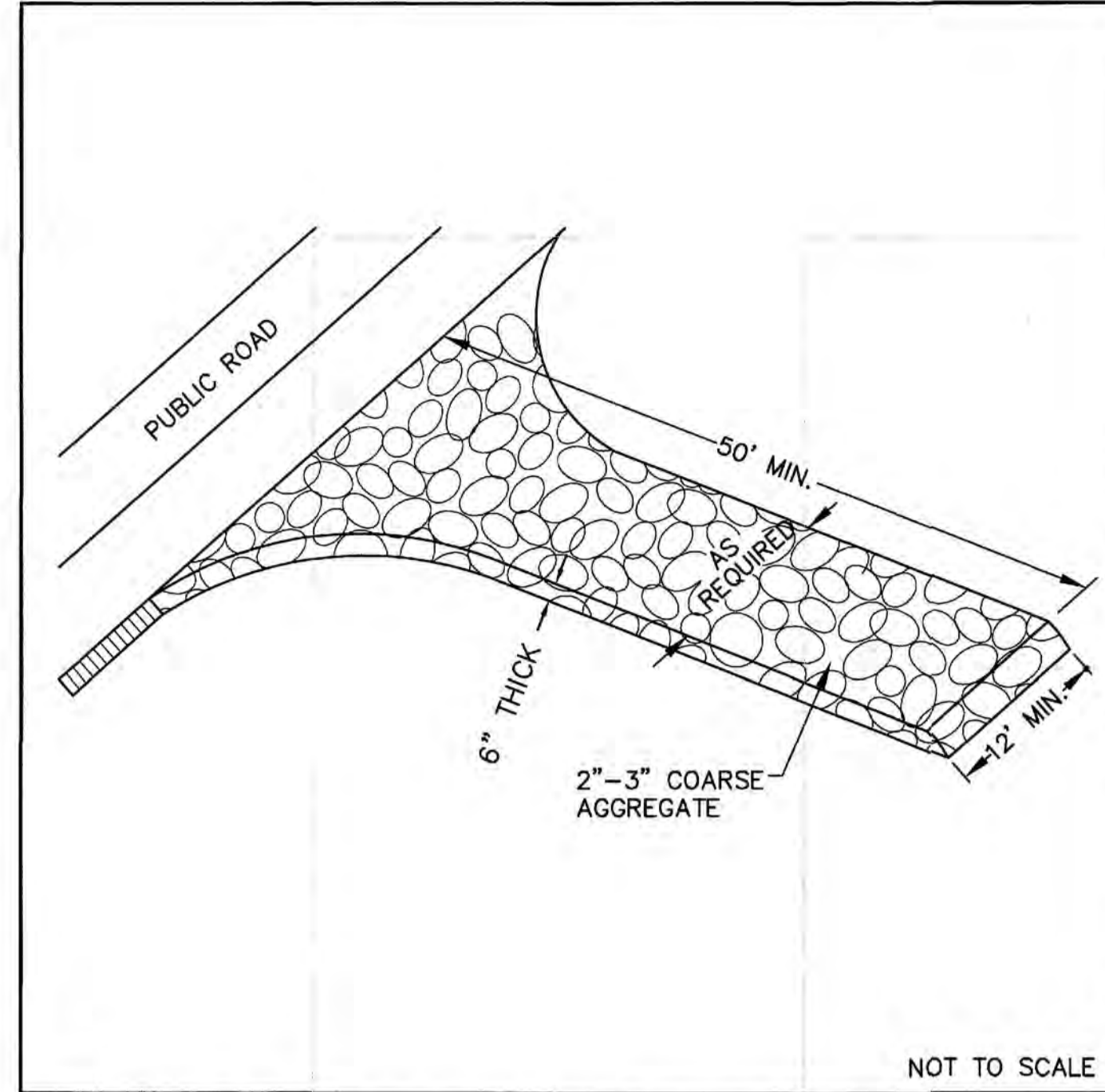
NCDENR PWSS WATER PERMIT #: \_\_\_\_\_  
 WATER CAPACITY: \_\_\_\_\_ GPD  
 DWQ SEWER PERMIT #: \_\_\_\_\_  
 SEWER CAPACITY: \_\_\_\_\_ GPD  
 SEWER SHED # AND PLANT: \_\_\_\_\_  
 SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

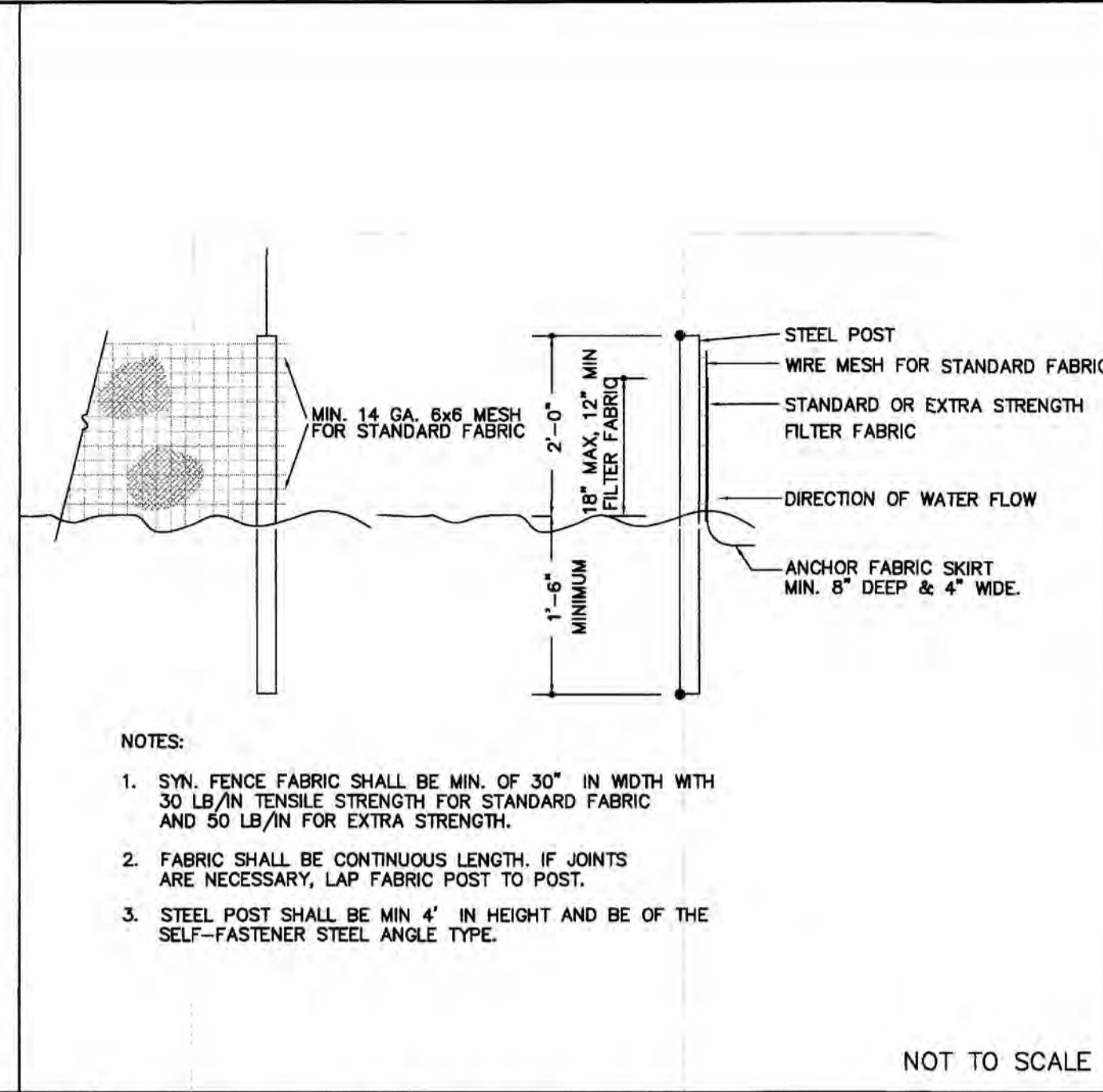
APPROVED CONSTRUCTION PLAN  
 Jeff Walton  
 4/3/2020  
 City SW# 2006046R13

**WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

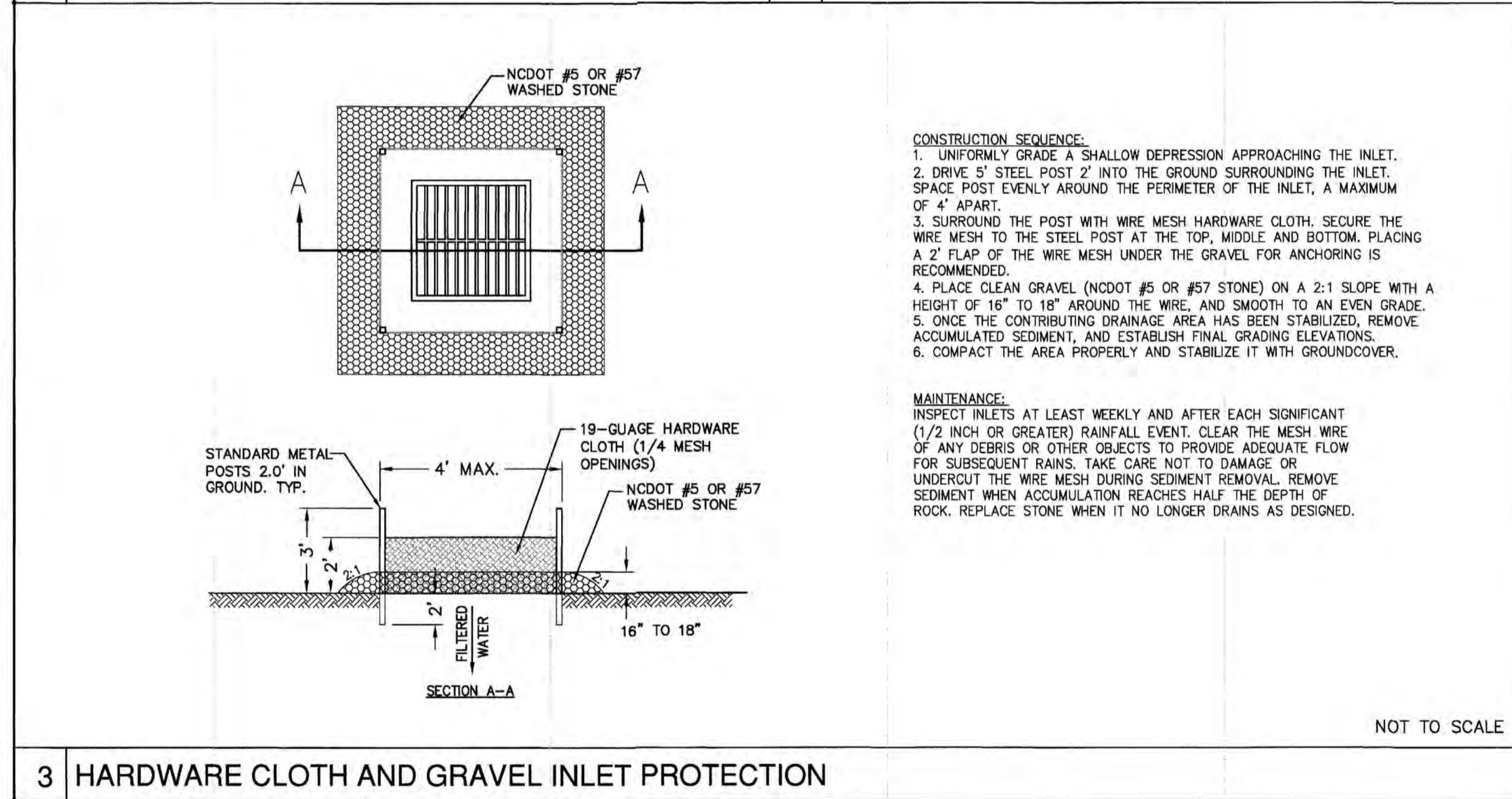
**C4**



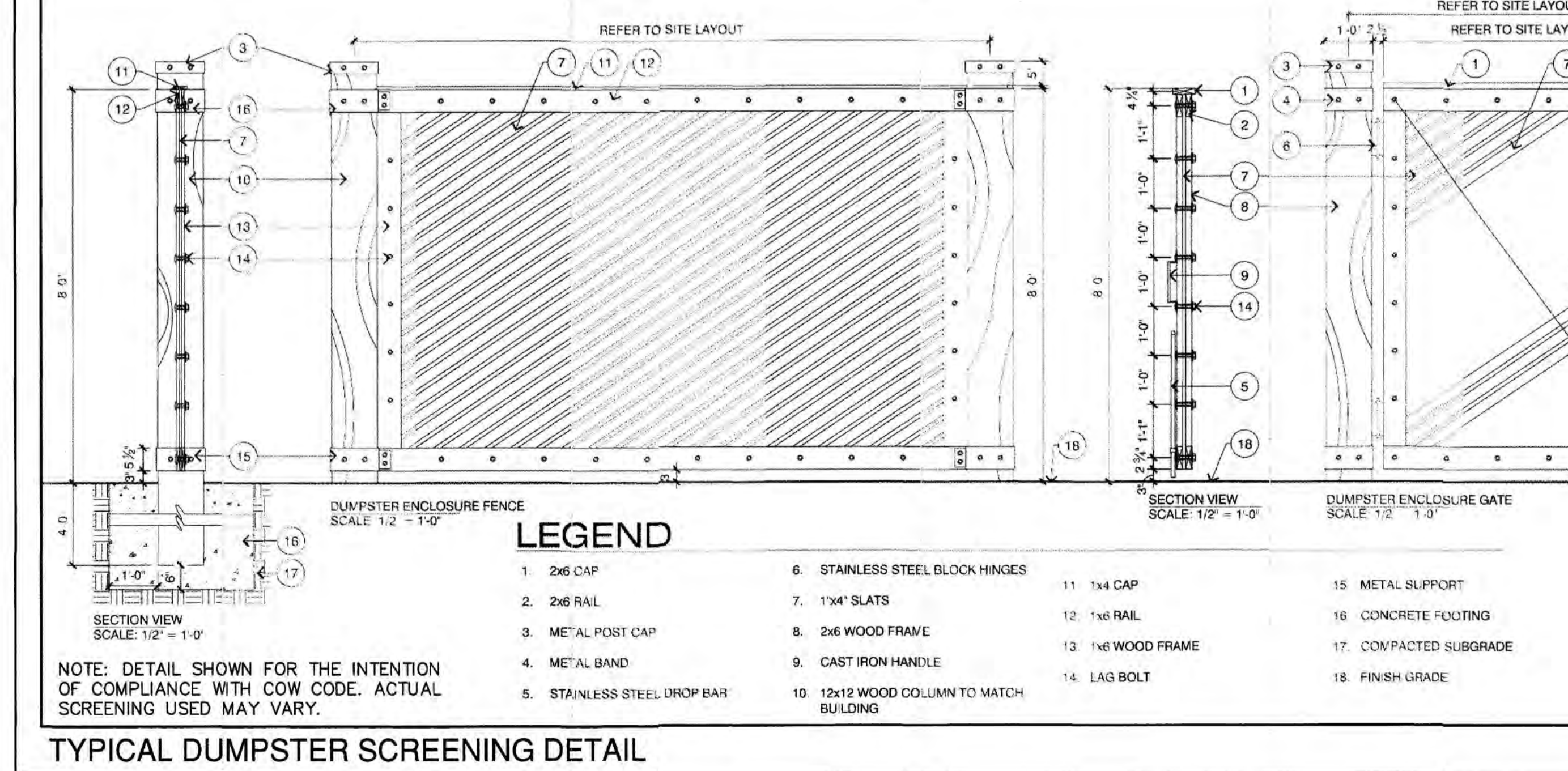
1 TEMPORARY GRAVELLED CONSTRUCTION ENTRANCE



2 TEMPORARY SILT FENCE



3 HARDWARE CLOTH AND GRAVEL INLET PROTECTION



4 TYPICAL DUMPSTER SCREENING DETAIL

**PERMANENT SEEDING RECOMMENDATIONS FOR FALL AND EARLY SPRING**

SEEDING MIXTURE	RATE (lb/acre)	(lb/1000 sf)
SPESIES		
FALL FESCUE	80	1.84
PENSACOLA BAHIAGRASS	50	1.15
SERICEA LESPEDEZA	30	0.69
KOBE LESPEDEZA	10	0.23

**SEEDING NOTES:**  
 1. FROM SEPT. 1 THRU MAR. 1, USE UNSCARIFIED SERICEA SEED.  
 2. ON POORLY DRAINED SITES OMIT SERICEA AND INCREASE KOBE TO 30 lbs/acre.  
 3. WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE KOBE TO 40 lbs/acre.

**NURSE PLANTS:** BETWEEN APR. 15 AND AUG. 15, ADD 10 lbs/acre GERMAN MILLET OR 15 lbs/acre SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUG. 15 ADD 25 lbs/acre RYE (GRAIN).

**SEEDING DATES:** BEST: FEB. 15-MAR. 20, POSSIBLE: FEB. 15-APR. 30  
 EARLY SPRING: SEPT. 1-SEPT. 30, SEPT. 1-OCT. 31

**SOIL AMENDMENTS:**  
 APPLY LIME AND FERTILIZE ACCORDING TO SOIL TESTS, OR APPLY 3,000-5,000 lbs/acre (68.9-114.8 lbs/1,000 sf) GROUND AGRICULTURAL LIMESTONE (USE THE LOWER RATE ON SANDY SOILS) AND 1,000 lbs/acre (22.9 lbs/1,000 sf) 10-10-10 FERTILIZER.

**MULCH:**  
 APPLY 4,000 lb/acre (91.8 lbs/1,000 sf) GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE:**  
 IF GROWTH IS LESS THAN FULLY ADEQUATE, REFERTILIZE IN THE SECOND YEAR ACCORDING TO SOIL TESTS OR TOPDRESS WITH 500 lbs/acre (11.5 lbs/1,000 sf) 10-10-10 FERTILIZER. MOW AS NEEDED WHEN SERICEA IS OMITTED FROM THE MIXTURE. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.

**TEMPORARY SEEDING RECOMMENDATIONS FOR FALL**

SEEDING MIXTURE	RATE (lb/acre)	(lb/1000 sf)
SPESIES		
RYE (GRAIN)	120	2.75

**SEEDING DATES:** MOUNTAINS - AUG. 15 - DEC. 15  
 COASTAL PLAIN AND PIEDMONT - AUG. 15 - DEC. 15

**SOIL AMENDMENTS:**  
 FOLLOW SOIL TEST OR APPLY 2,000 lb/acre GROUND AGRICULTURAL LIMESTONE AND 1,000 lb/acre 10-10-10 FERTILIZER.

**MULCH:**  
 APPLY 4,000 lb/acre STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE:**  
 REPAIR AND REFERTILIZE DAMAGE AREAS IMMEDIATELY. TOP DRESS WITH 50 lb/acre OF NITROGEN IN MARCH, IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 lb/acre KOBE (PIEDMONT AND COASTAL PLAIN) OR KOREAN (MOUNTAINS) LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

**PERMANENT SEEDING RECOMMENDATIONS FOR LATE SPRING AND EARLY SUMMER**

SEEDING MIXTURE	RATE (lb/acre)	(lb/1000 sf)
SPESIES		
PENSACOLA BAHIAGRASS	50	1.15
SERICEA LESPEDEZA	30	0.69
COMMON BERMUDEA	10	0.23
GERMAN MILLET	10	0.23

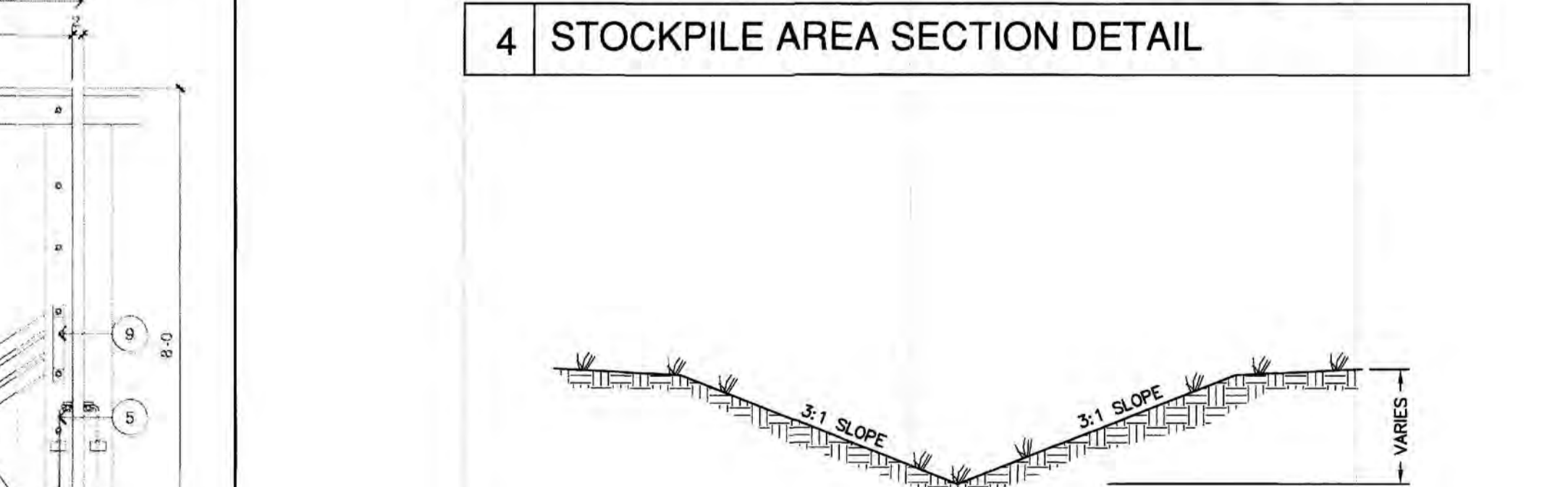
**SEEDING NOTES:**  
 1. WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICEA.  
 2. USE COMMON BERMUDEAGRASS ONLY ON ISOLATED SITES WHERE IT CANNOT BECOME A PEST. BERMUDEAGRASS MAY BE REPLACED WITH 5 lbs/acre CENTIPEDEGRASS.

**SEEDING DATES:** APRIL 1-JULY 15

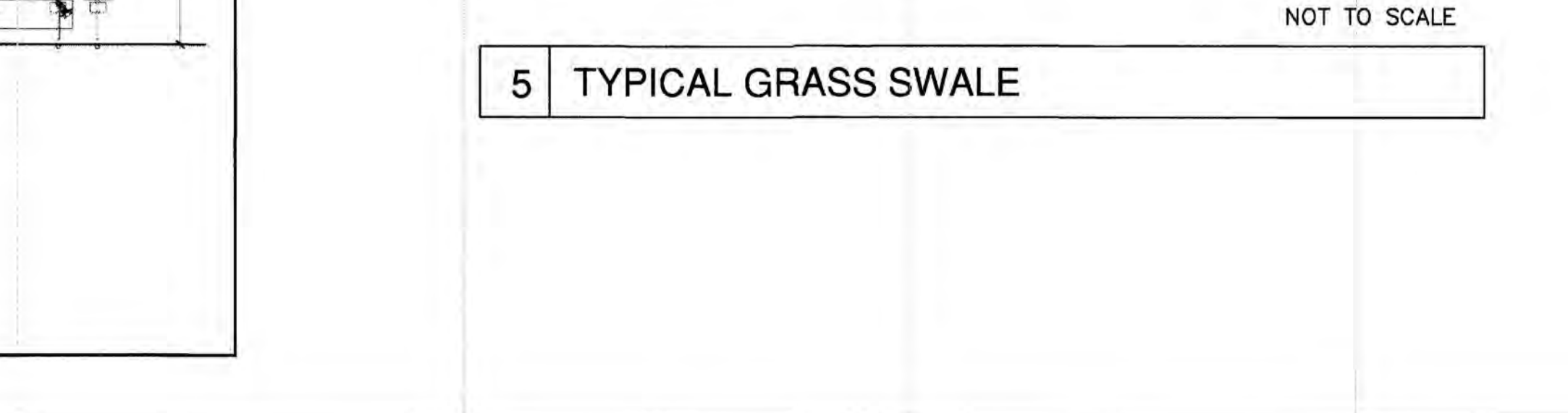
**SOIL AMENDMENTS:**  
 APPLY LIME AND FERTILIZE ACCORDING TO SOIL TESTS, OR APPLY 3,000 lbs/acre (68.9 lbs/1,000 sf) GROUND AGRICULTURAL LIMESTONE AND 500 lbs/acre (11.5 lbs/1,000 sf) 10-10-10 FERTILIZER.

**MULCH:**  
 APPLY 4,000 lb/acre (91.8 lbs/1,000 sf) GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE:**  
 REFERTILIZE THE FOLLOWING APRIL WITH 50 lbs/acre (1.15 lbs/1,000 sf) NITROGEN. REPEAT AS GROWTH REQUIRES. MAY BE MOWED ONLY ONCE A YEAR. WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICEA AND MOW AS OFTEN AS NEEDED.



4 STOCKPILE AREA SECTION DETAIL



5 TYPICAL GRASS SWALE

**SITE WORK NOTES:**

1. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH FIELD CONSTRUCTION CONDITIONS.
2. CONTRACTOR SHALL COORDINATE WORK WITH NCDOT AND LOCAL RIGHT OF WAYS WITH PROPER AUTHORITIES AND SHALL MEET ANY REQUIREMENTS AS TO TRAFFIC CONTROL AND CONNECTION TO EXISTING STREETS.
3. CLEARING AND GRUBBING: REMOVE ALL TREES AS REQUIRED UNLESS OTHERWISE NOTED TO REMAIN, STUMPS, ROOTS, SHRUBBERY, ASPHALT, CONCRETE, STRUCTURES, BURIED UTILITIES, STORAGE TANKS, ETC. WITHIN LIMITS OF CONSTRUCTION.
4. STRIPPING: BEFORE EXCAVATING OR FILLING, REMOVE ALL TOPSOIL, WOOD, LEAVES, AND ANY OTHER UNSUITABLE MATERIAL.
5. MUCKING: REMOVE ANY SOFT, ORGANIC SILT MATERIALS AND EXISTING BURIED CONSTRUCTION DEBRIS AS REQUIRED AND FILL TO SUBGRADE ELEVATIONS WITH A CLEAN SELECT-FILL COMPACTED AS SPECIFIED.
6. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR EXCAVATED SPOIL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES.
7. BORROW MATERIAL: THE CONTRACTOR SHALL FURNISH BORROW MATERIAL REQUIRED FROM OFF SITE AND OBTAIN ALL REQUIRED PERMITS ASSOCIATED WITH BORROW OPERATIONS.
8. FILL AND COMPACTION: AFTER STRIPPING THOSE AREAS DESIGNATED TO RECEIVE FILL SHOULD BE PROOFROLLED. THE TOP 8" OF SUBGRADE SHALL BE COMPACTED TO AT LEAST 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. ANY AREA WHICH PUMPS OR RUNS EXCESSIVELY SHOULD BE UNDERCUT AND REPLACED WITH A CLEAN, SILTY OR CLAYEY SAND HAVING A UNIFIED SOIL CLASSIFICATION OF SP, SM, OR SC. FILL MATERIAL 5" OUTSIDE OF BUILDING AREAS SHALL THEN BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. FILL MATERIALS WITHIN BUILDING AREAS TO A LINE OUTSIDE THE BUILDING AREAS SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IN AREAS WHERE NO STRUCTURAL FILL IS TO BE PLACED THE UPPER 12 INCHES OF IN-PLACE SUBGRADE SHOULD BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IF THE MATERIAL IS TOO DRY TO COMPACT TO THE REQUIRED DENSITY EACH LAYER SHALL BE WETTED IN ACCORDANCE WITH COMPACTION REQUIREMENTS. IF THE MATERIAL IS TOO WET TO SECURE PROPER COMPACTION, IT SHALL BE HARROWED REPEATEDLY OR OTHERWISE AERATED WITH SUITABLE EQUIPMENT UNTIL OPTIMUM MOISTURE CONTENT IS OBTAINED. FILL SHALL BE PLACED IN SUCH A MANNER THAT THE SURFACE WILL DRAIN READILY AT ALL TIMES. SEE STRUCTURAL NOTES AND SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
9. LAYOUT: THE CONTRACTOR SHALL PROVIDE ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION.
11. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION FROM SURVEY BY ARNOLD GARSON AND PROVIDED BY OWNER. TREE SURVEY BY MICHAEL UNDERWOOD AND ASSOC. PA.
12. THE CONTRACTOR SHALL VERIFY DIMENSIONS AT JOBSITE.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF RELOCATION OR DISCONNECTION OF ALL EXISTING UTILITIES WITH APPLICABLE AGENCIES AND AUTHORITIES.
14. ALL PAVEMENT AND BASE MATERIALS AND WORKMANSHIP SHALL CONFORM TO NCDOT STANDARDS.
15. WATER AND SEWER SERVICES SHALL BE INSTALLED TO MEET LOCAL AND STATE PLUMBING CODES. METER AND TAPS SHALL MEET ALL LOCAL REQUIREMENTS.
16. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE.
17. SEE SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
18. CONTRACTOR SHALL NOTE THAT EARTHWORK QUANTITIES ARE HIS RESPONSIBILITY. PLANS DO NOT REPRESENT A BALANCED EARTHWORK CONDITION.
19. REINF. CONC. PIPE SHALL BE CLASS III W/RUBBER GASKETED JOINT OR "RAM NECK". INSTALL PER MANUFACTURER'S REQUIREMENTS.
20. USE WHITE LANE MARKING PAINT FOR ALL PAVEMENT MARKINGS. PAINT SHALL BE A CHLORINATED RUBBER ALKYL FS TT-P-115, TYPE III, FACTORY MIXED, QUICK DRYING, NON-BLEEDING.
21. REFER TO THE PLUMBING DRAWINGS FOR LOCATION AND INVERTS OF NEW WASTE, WATER AND ROOF DRAIN LINES.

**NOTES AND DETAILS**

**DEVELOPER**  
 WEB TRASK, MEMBER/MANAGER  
 AUTUMN HALL BUILDING 2, LLC  
 C/O MIKE BROWN  
 1051 MILITARY CUTOFF RD.,  
 SUITE 200  
 WILMINGTON, NC 28405  
 344-1010 (P) 622-4657 (CELL)

**CONTRACTOR**  
 NORRIS & TUNSTALL  
 CONSULTING ENGINEERS P.C.  
 2602 IRON GATE DR. SUITE 102  
 WILMINGTON, NC 28412  
 PHONE (910) 343-9653

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DATE 04/01/20

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 Fire \_\_\_\_\_

City SW# 2006046R13

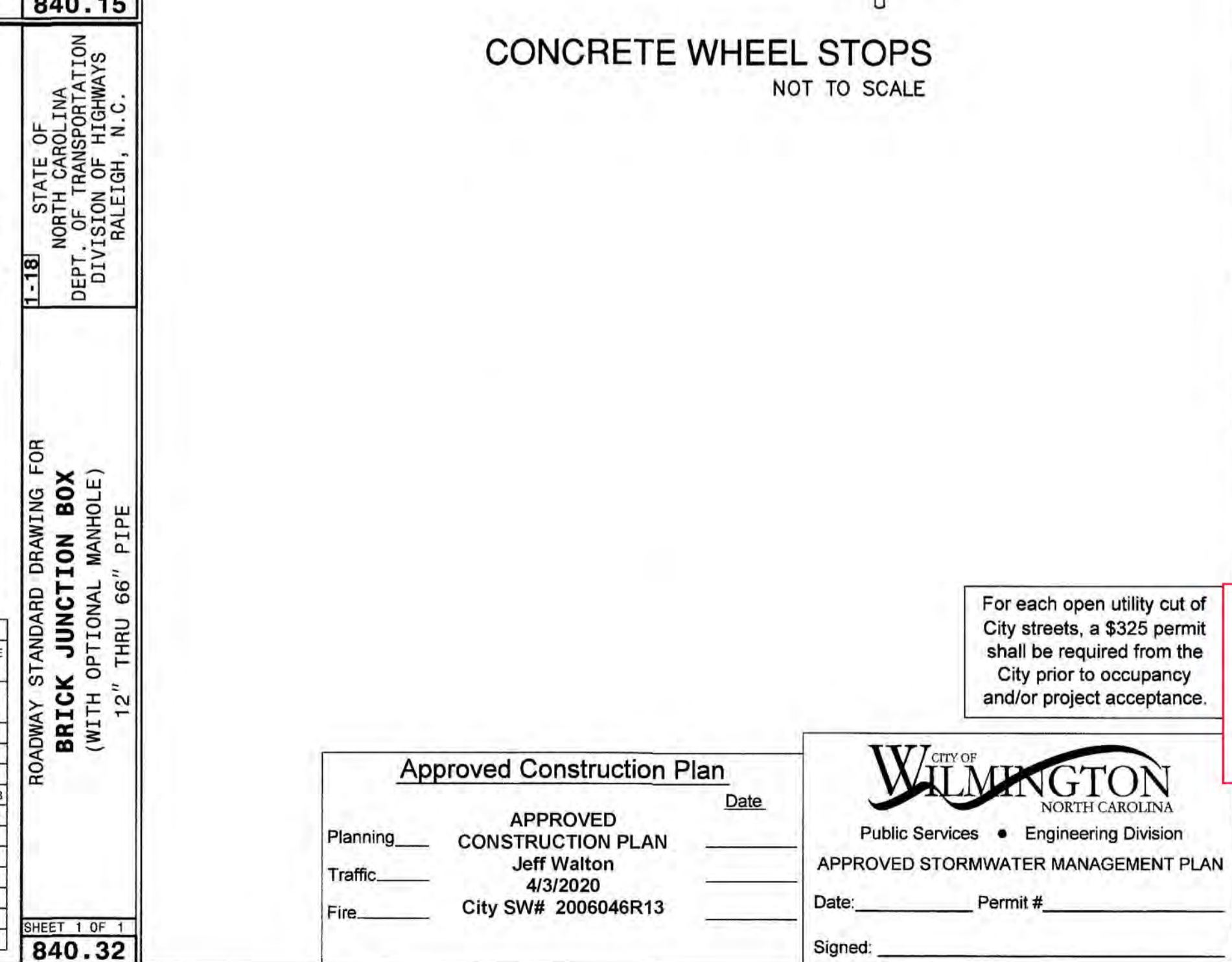
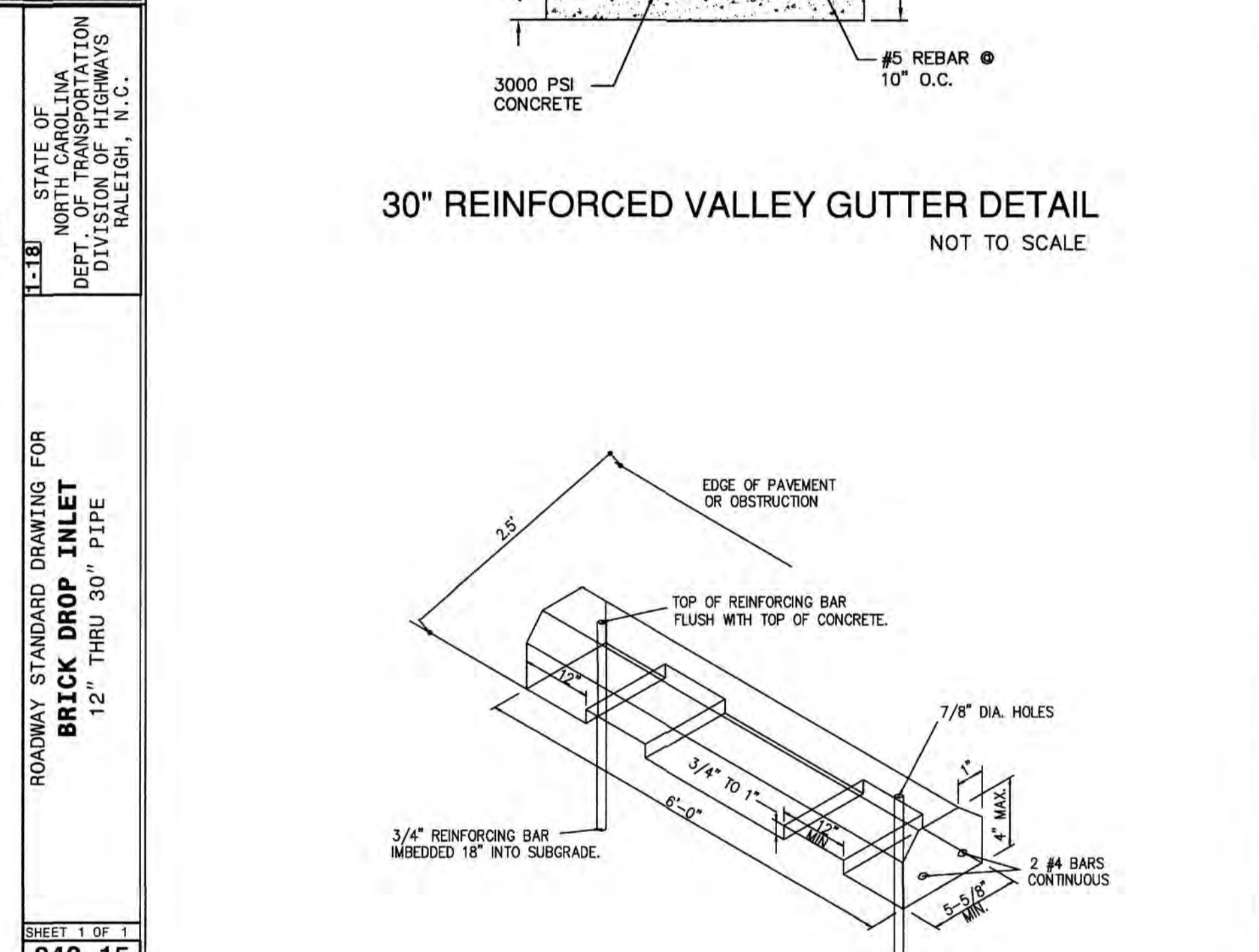
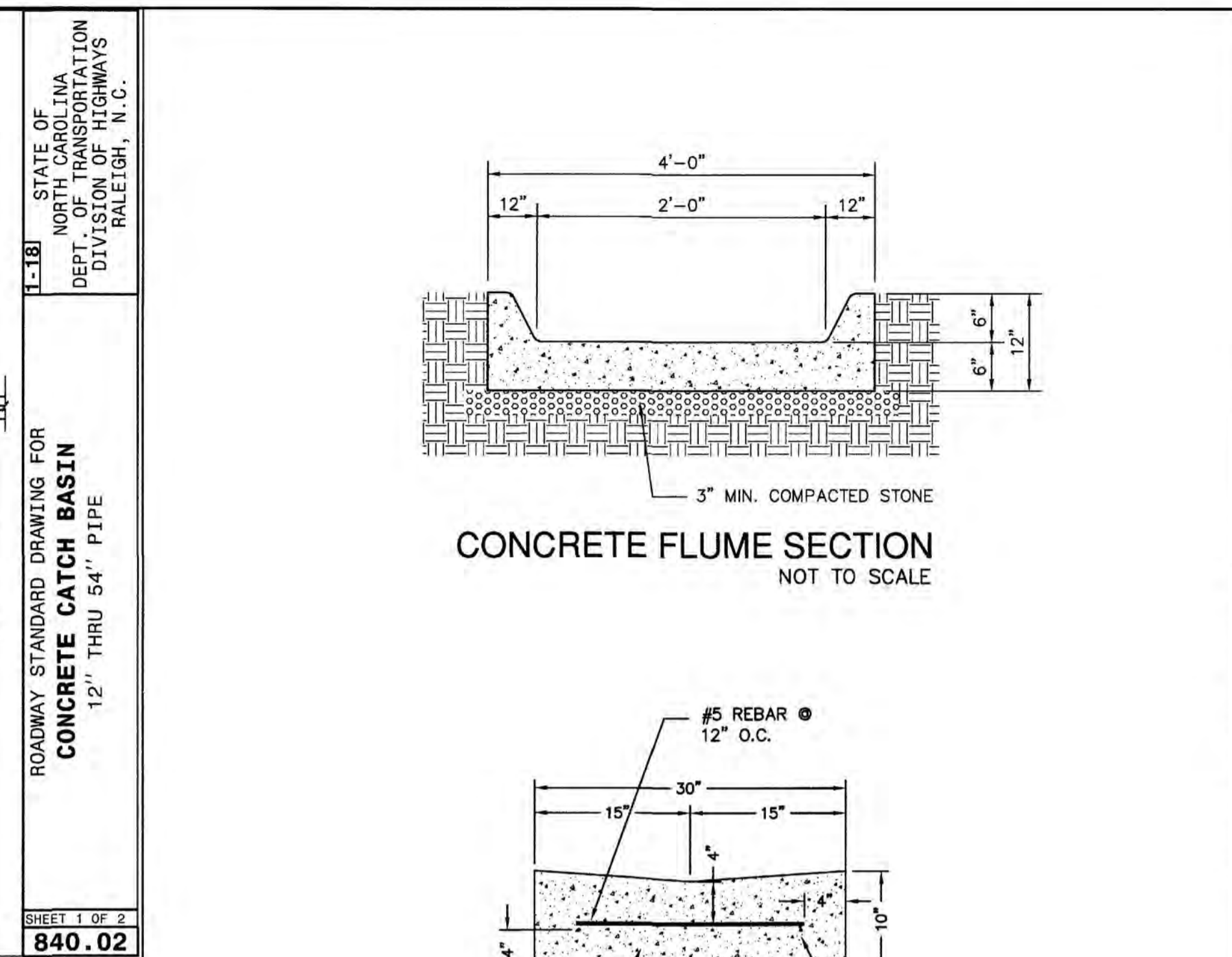
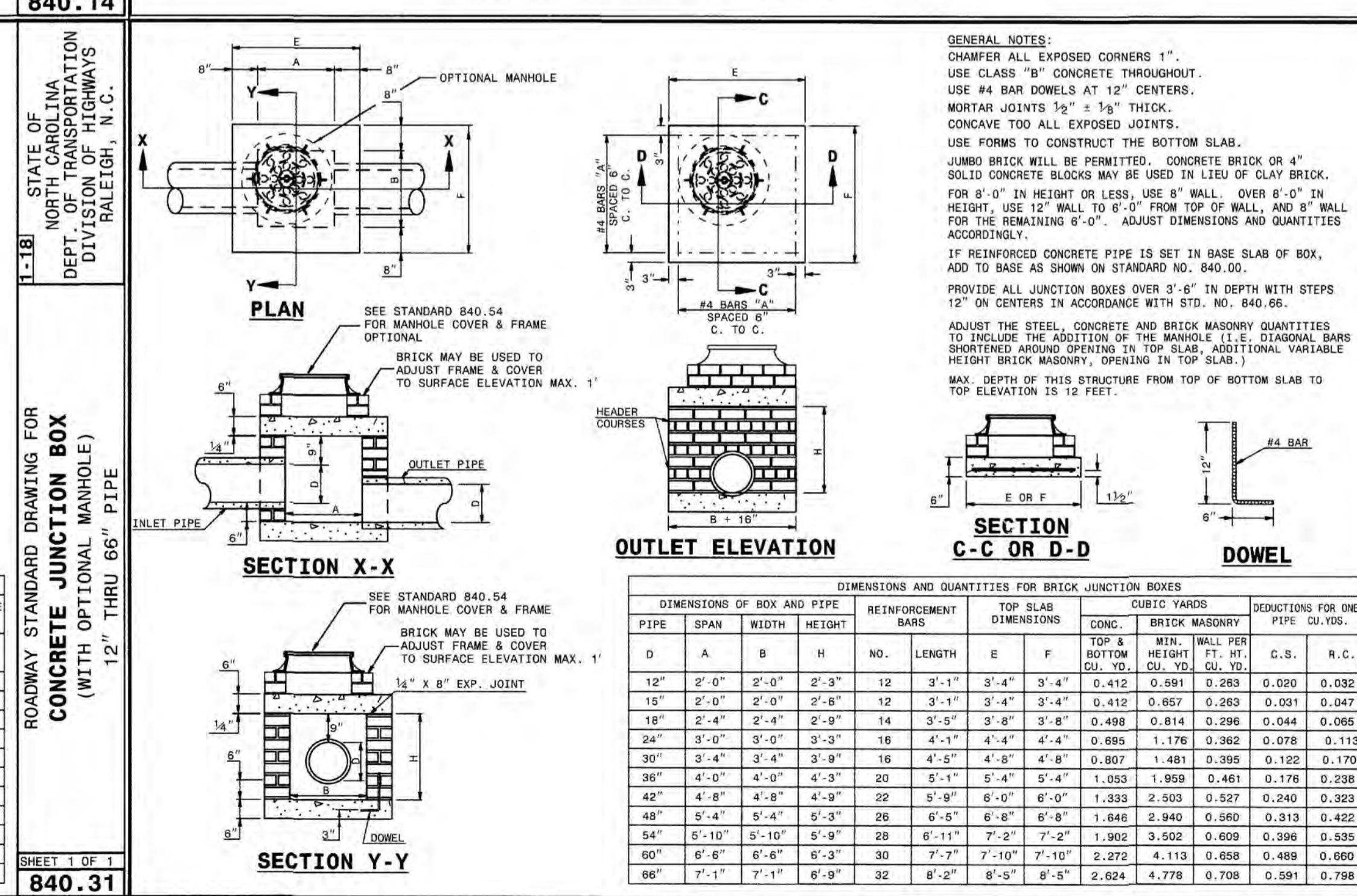
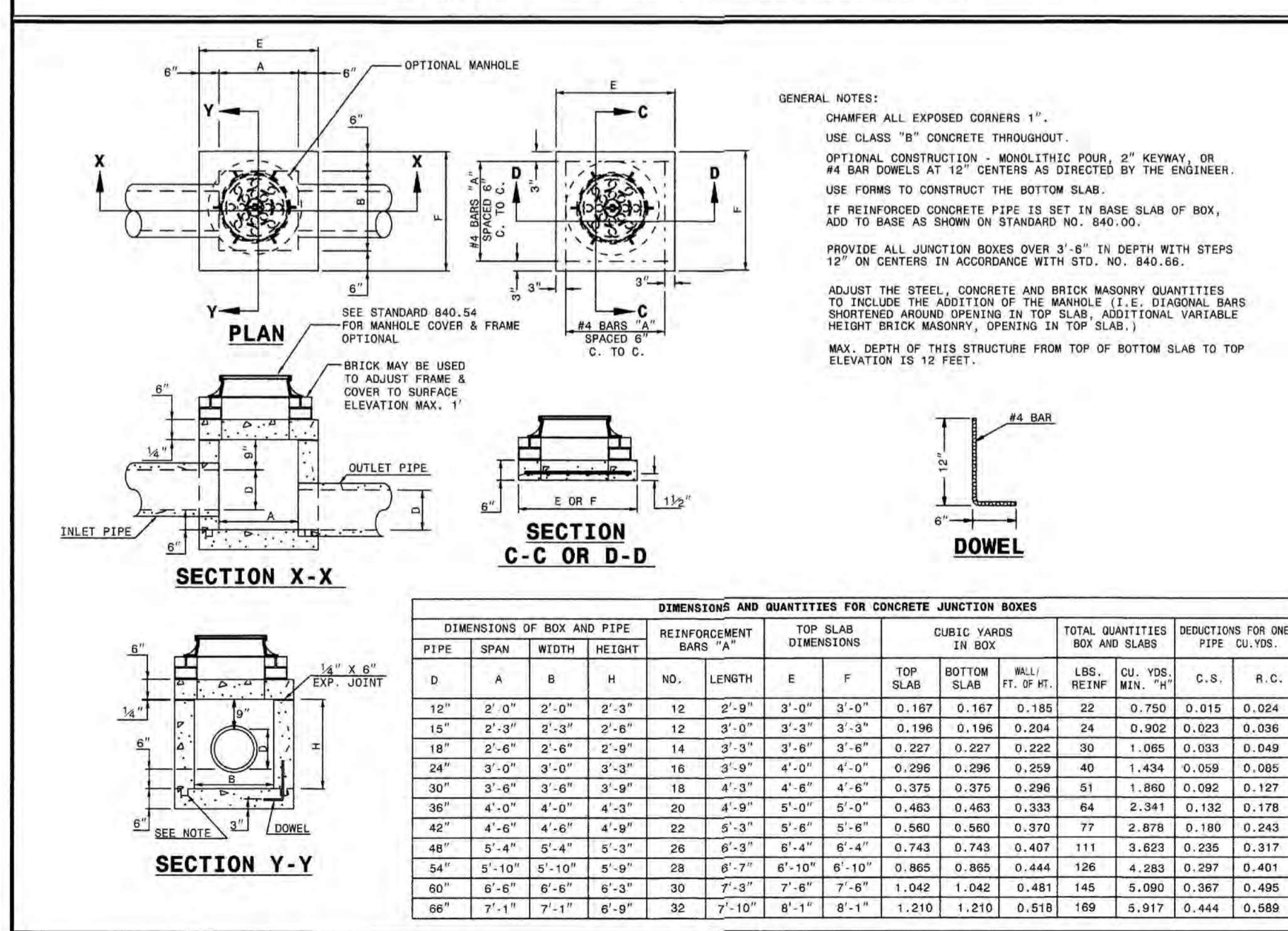
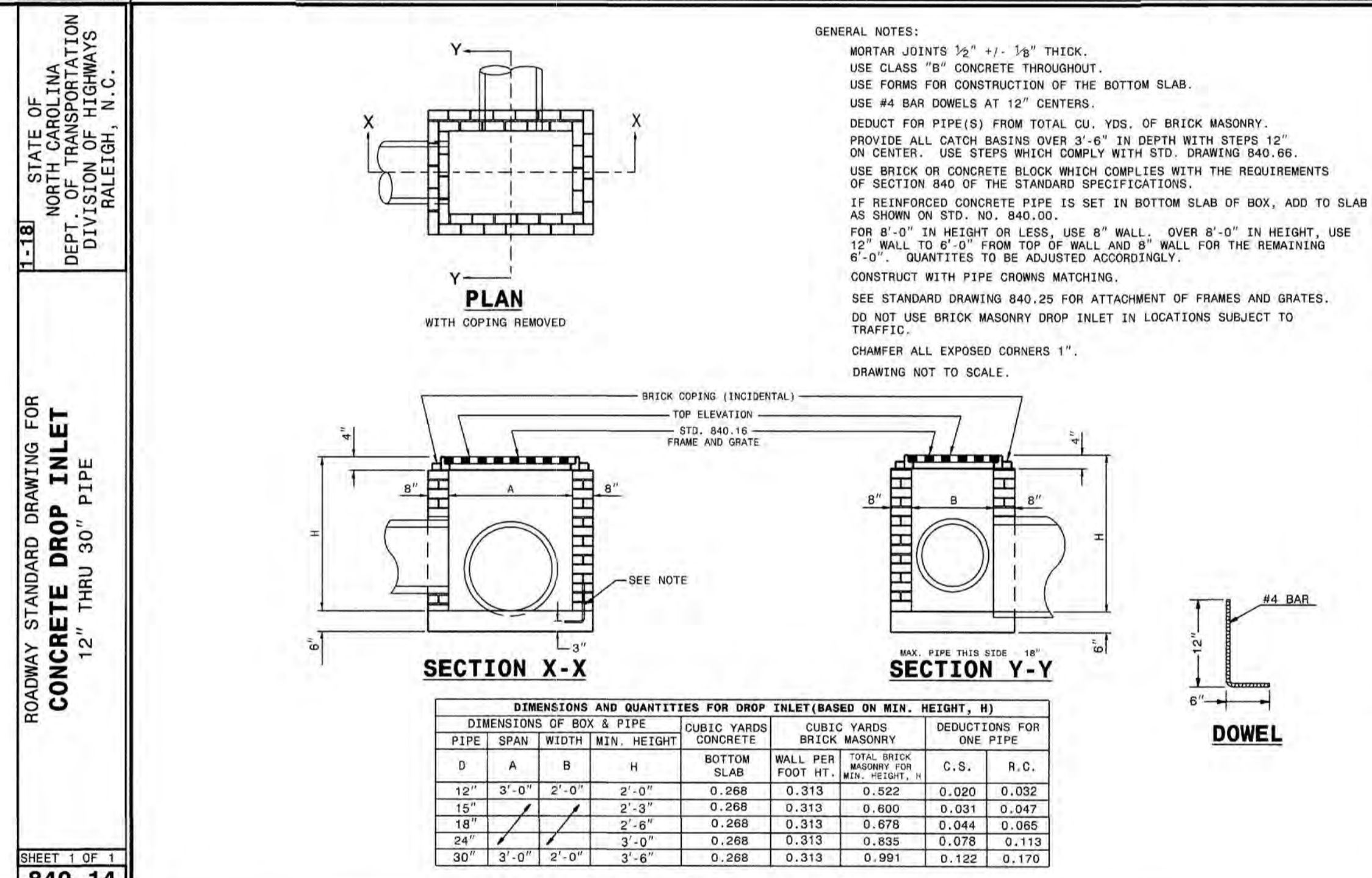
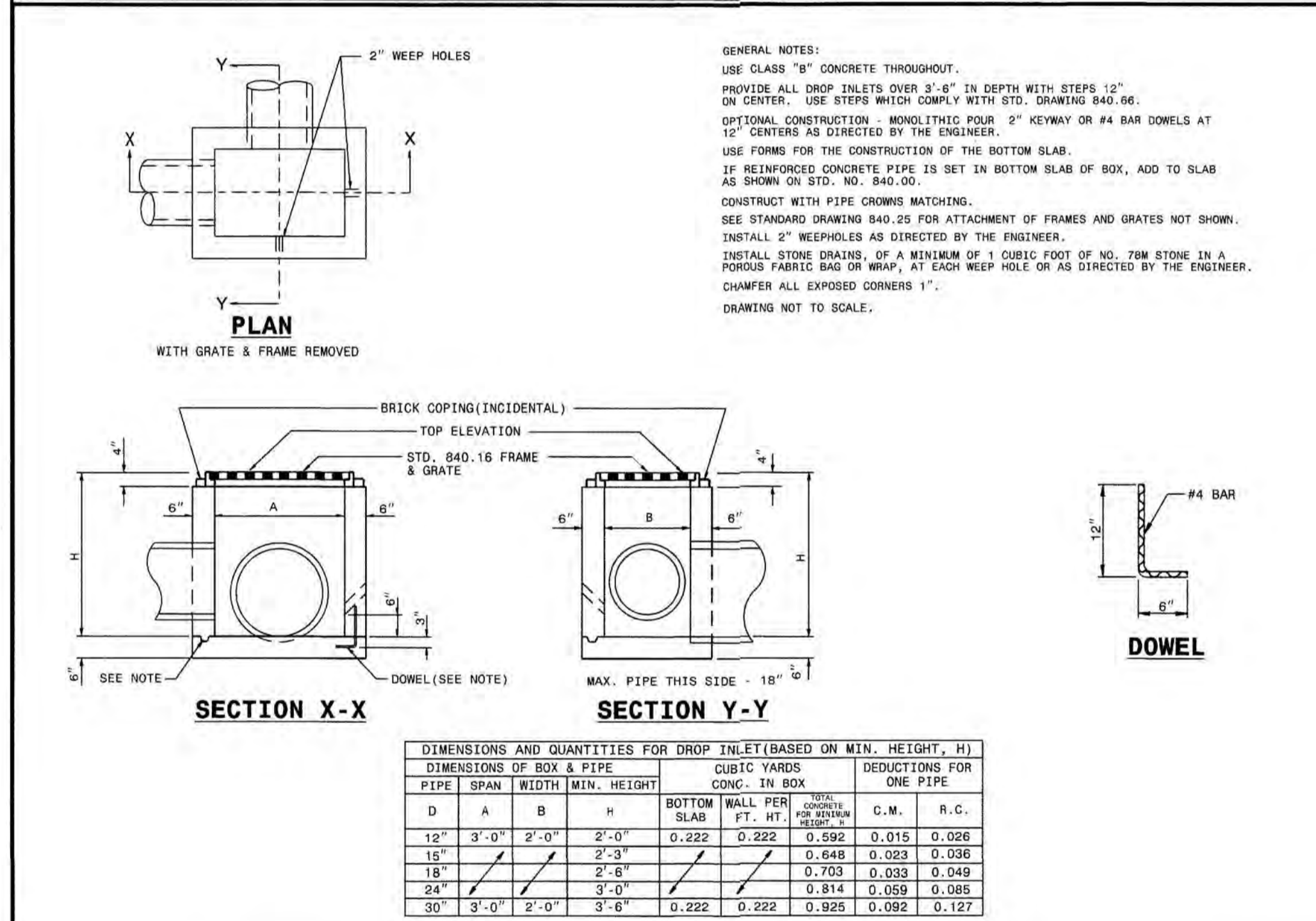
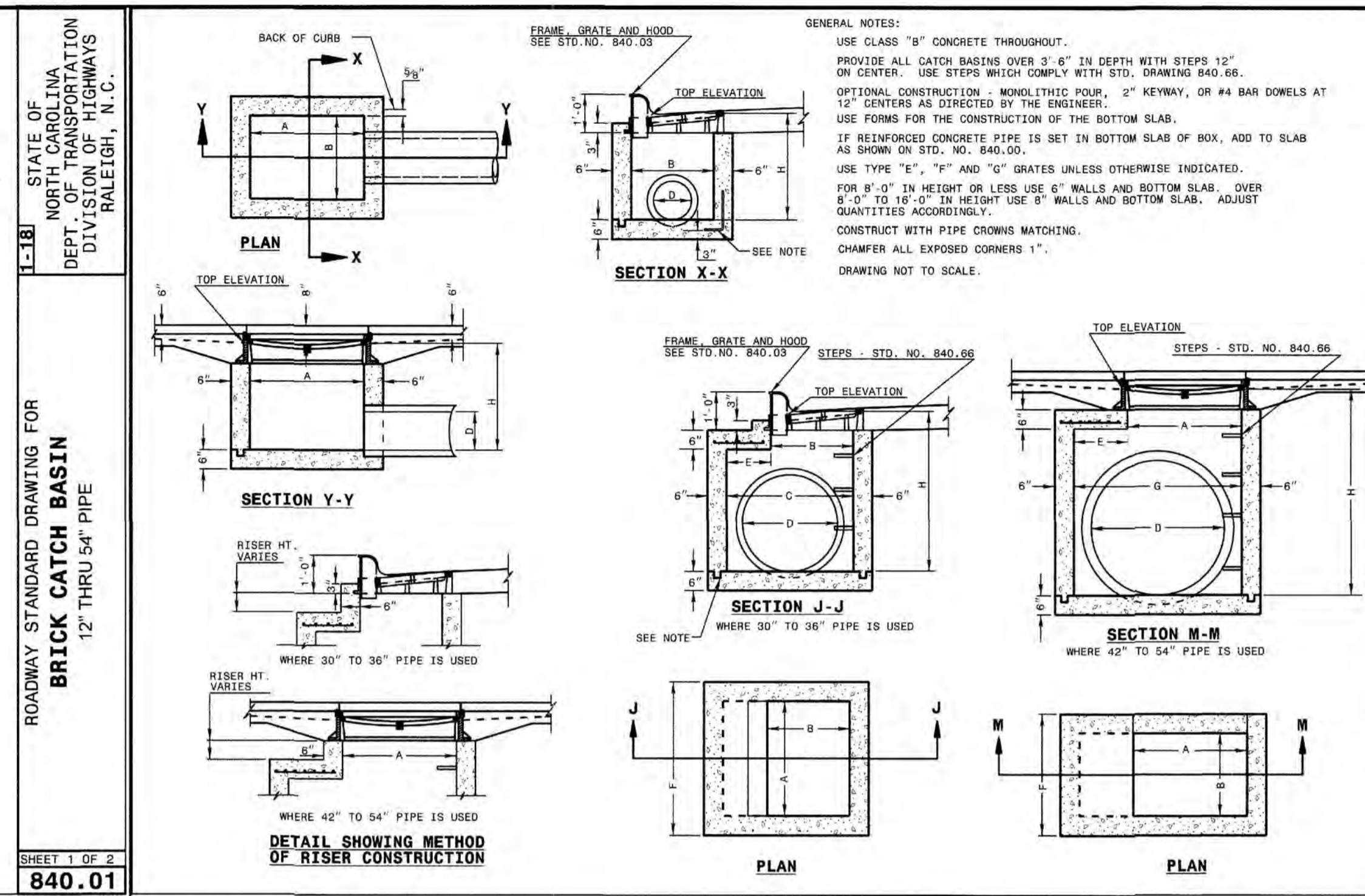
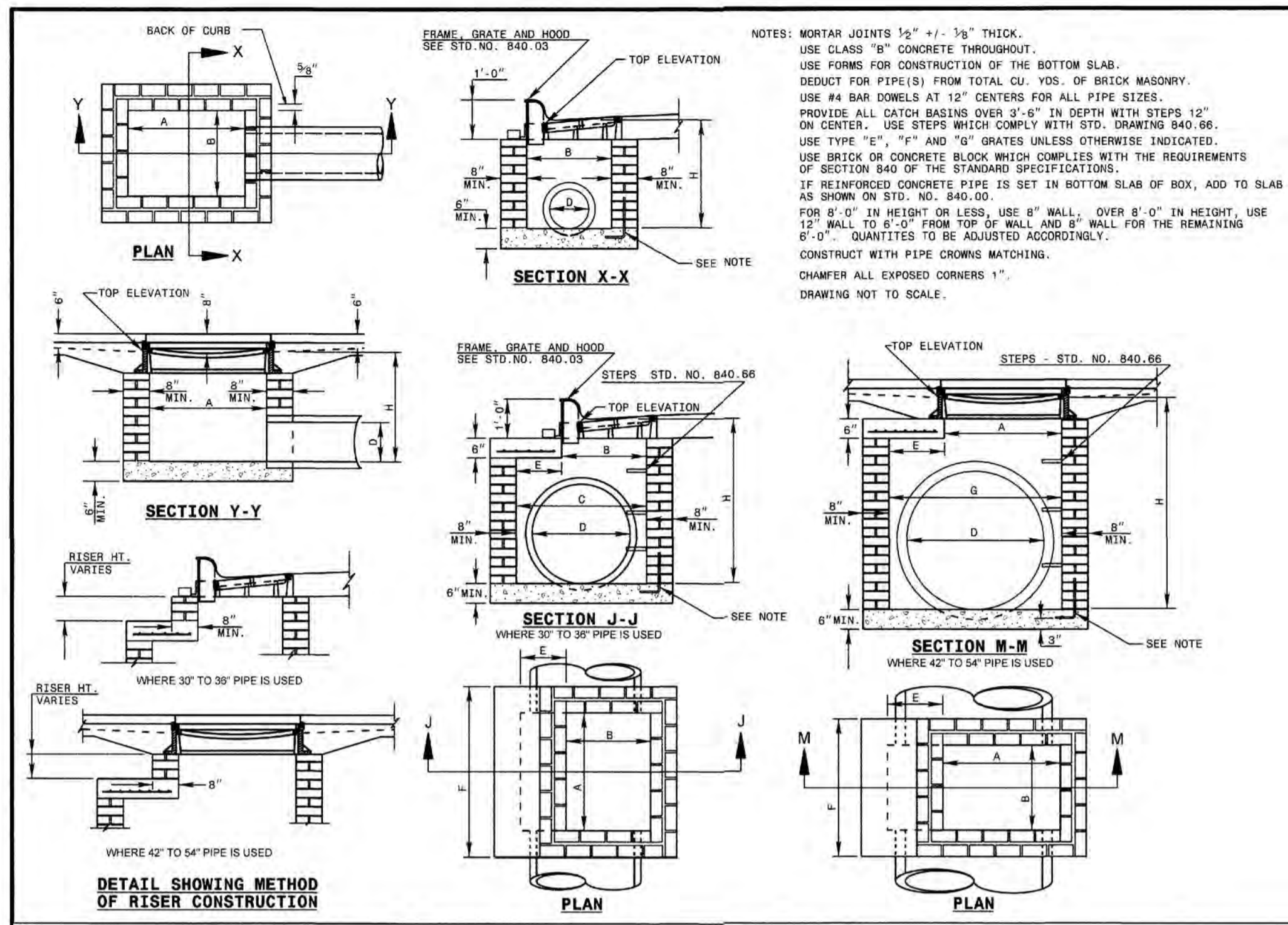
Approved Construction Plan  
 APPROVED  
 CONSTRUCTION PLAN  
 Jeff Walton  
 4/3/2020

City SW# 2006046R13

Approved Construction Plan

NCDENR PWSS WATER PERMIT # \_\_\_\_\_ GPD  
 WATER CAPACITY: \_\_\_\_\_ GPD  
 DWQ SEWER PERMIT # \_\_\_\_\_ GPD  
 SEWER CAPACITY: \_\_\_\_\_ GPD  
 SEWER SHED # AND PLANT: \_\_\_\_\_  
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

**C4.1**  
**PRELIMINARY**



NOTES AND DETAILS

DEVELOPER  
WEB TRASK MEMBER/MANAGER  
AUTUMN HALL BUILDING 2, LLC  
C/O MIKE BROWN  
1051 MILITARY CUTOFF RD.,  
SUITE 200  
WILMINGTON, NC 28405  
344-1010 (P) 622-4657 (CELL)

**NORRIS & TUNSTALL**  
CONSULTING ENGINEERS P.C.

2602 IRON GATE DR., SUITE 102  
WILMINGTON, NC 28412  
PHONE: (910) 343-9653

License #C-3641

**19142**

DES. JST  
CHKD. JPN  
DRWN. NKS

DATE 02/04/20

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan  
Date \_\_\_\_\_

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Jeff Walton  
4/3/2020

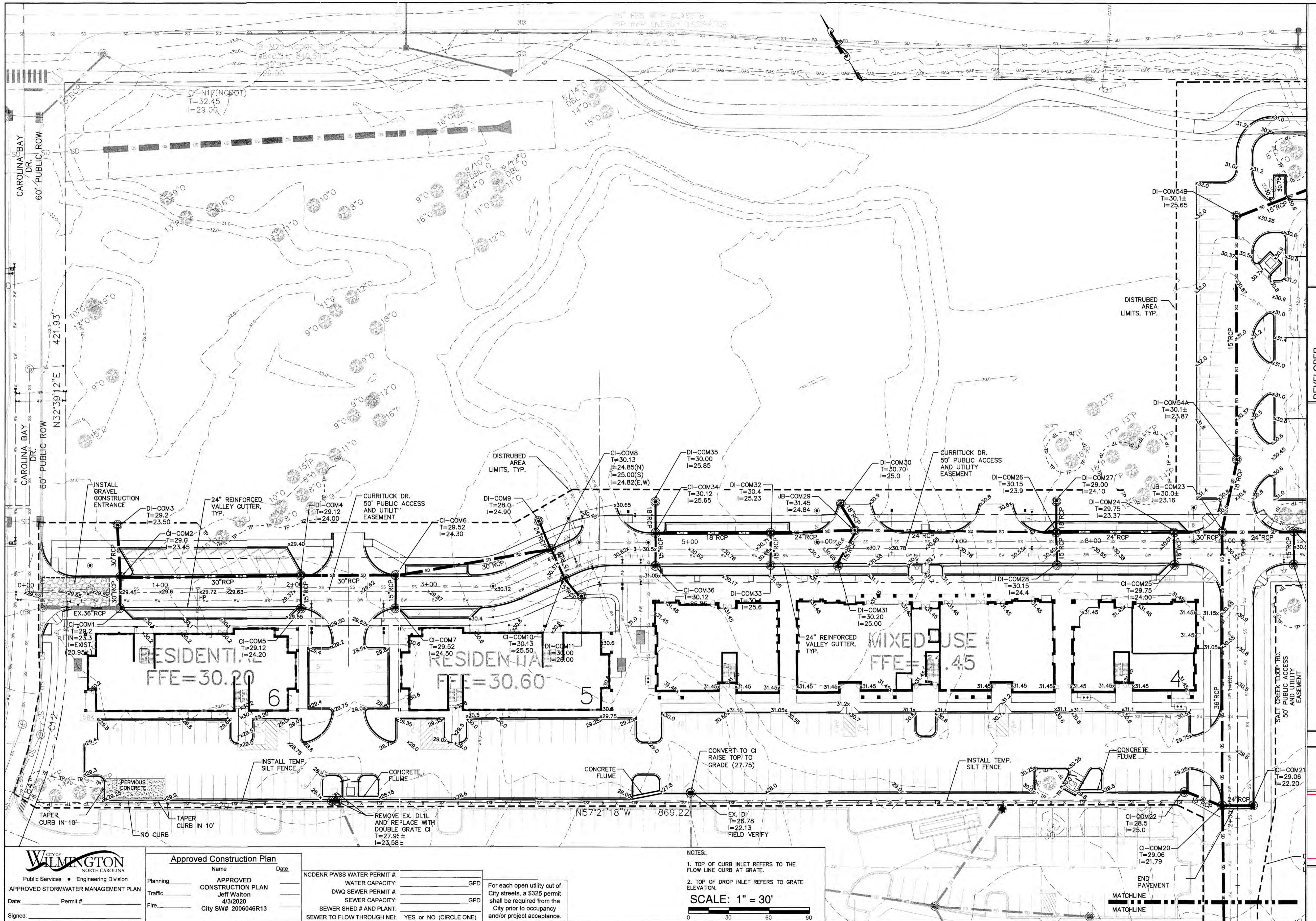
City SW# 2006046R13

Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

**C4.2**  
PRELIMINARY





**GRADING, DRAINAGE AND EROSION CONTROL PLAN**  
**AUTUMN HALL COMMERCIAL PH I**  
 1202 EASTWOOD ROAD  
 WILMINGTON, NC  
 NEW HANOVER COUNTY

**DEVELOPER**  
 WEB TRASK CO MIKE BROWN  
 CAPE FEAR COMMERCIAL, LLC  
 1051 MILITARY CUTOFF RD.,  
 SUITE 200  
 WILMINGTON, NC 28405  
 344-1010 (P) 622-4657 (CELL)

**NORRIS & TUNSTALL**  
 CONSULTING ENGINEERS P.C.  
 1900 EASTWOOD RD., SUITE #11  
 WILMINGTON, NC 28405  
 ASH, NC 28420  
 PHONE (910) 343-9653  
 PHONE (910) 287-5900

License #C-3641  
**18128**  
 DES. JST  
 CKD. JPN  
 DRWN. NKS  
 DATE 02/24/20

**C2.1**

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

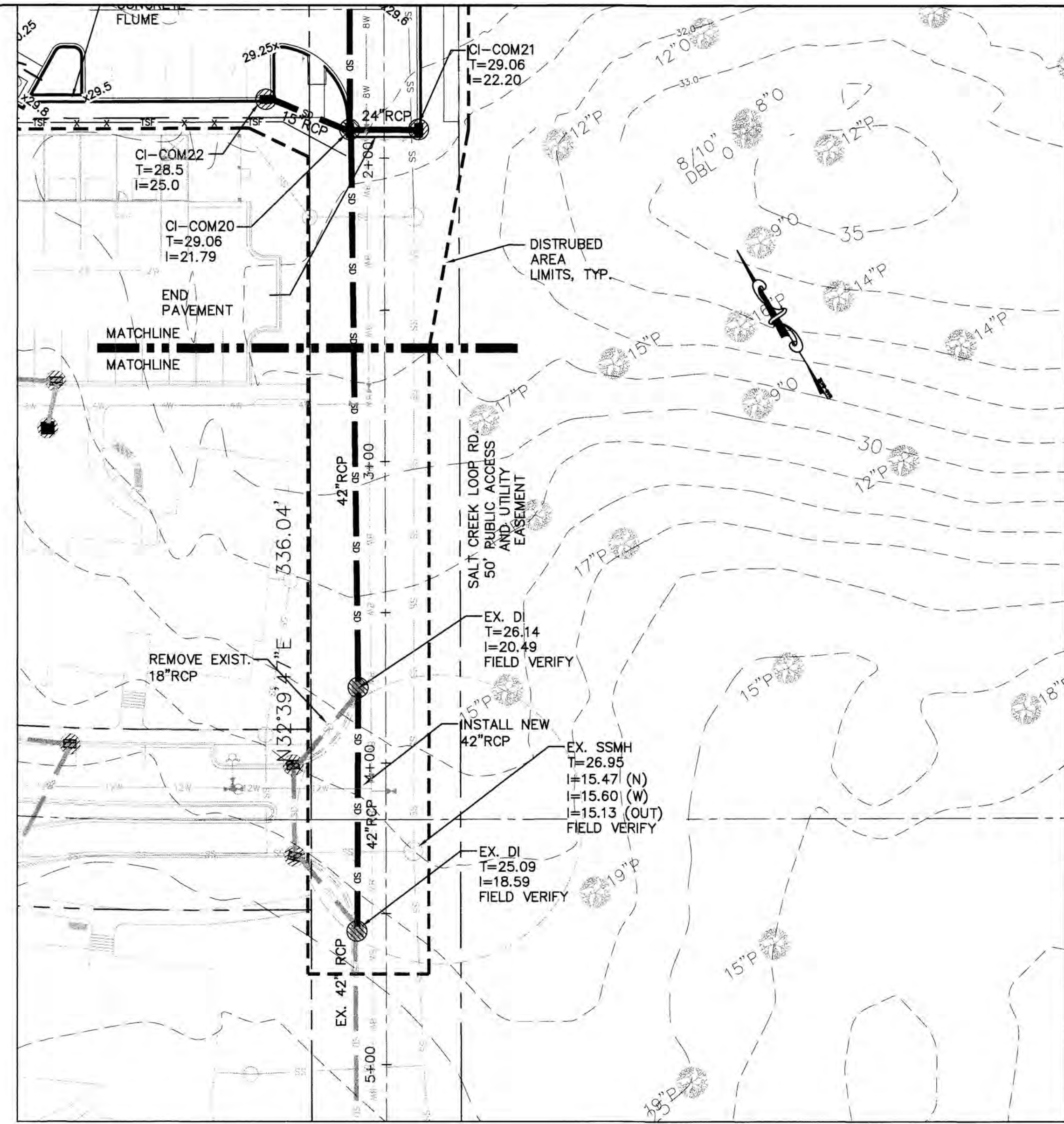
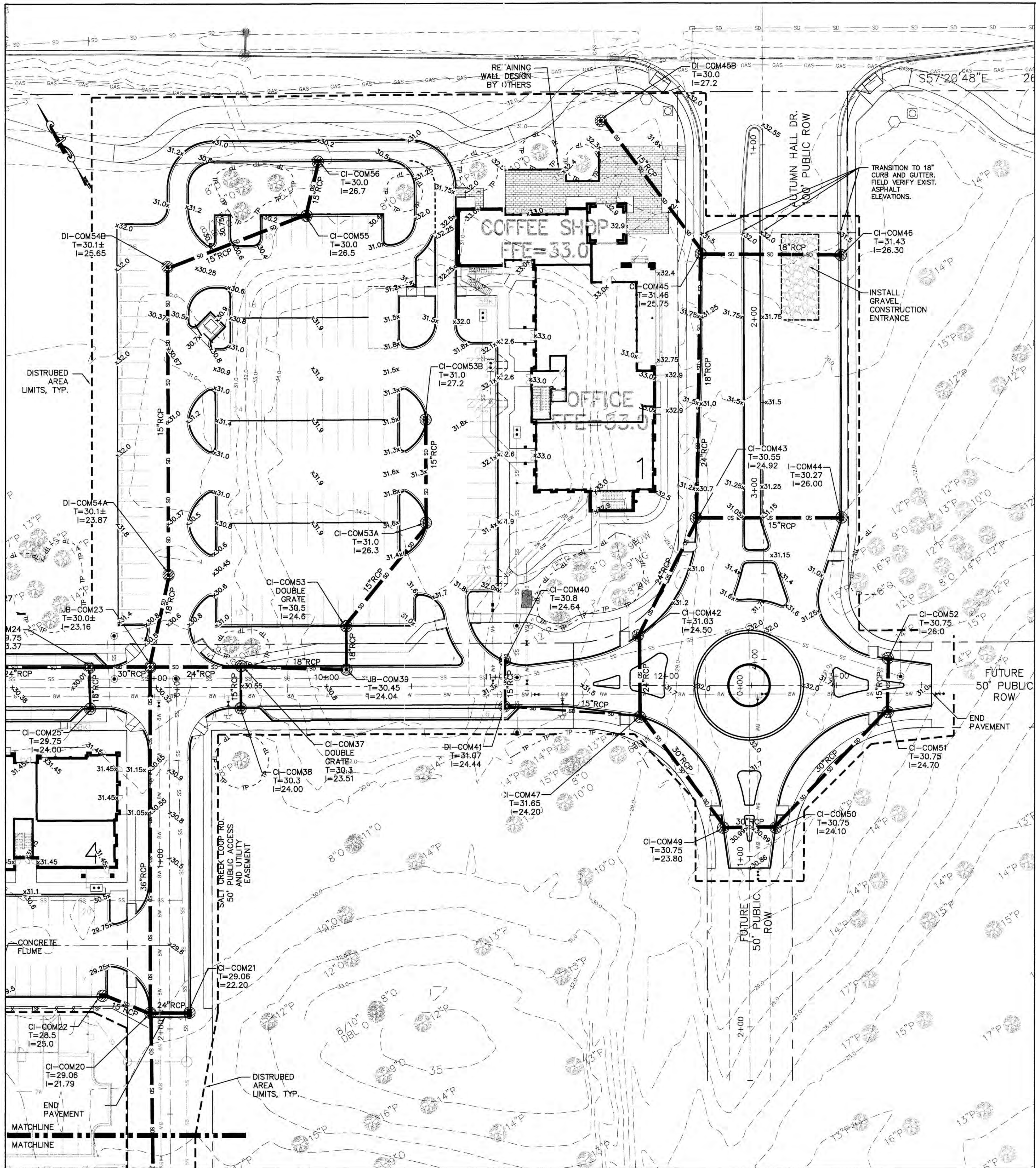
Approved Construction Plan	
Name	Date
Planning	APPROVED
Traffic	CONSTRUCTION PLAN
Fire	Jeff Walton
	4/3/2020
	City SW# 2006046R13

NCDENR PWSS WATER PERMIT #:	_____
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	_____
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLAN:	_____
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**NOTES:**  
 1. TOP OF CURB INLET REFERS TO THE FLOW LINE CURB AT GRADE.  
 2. TOP OF DROP INLET REFERS TO GRADE ELEVATION.  
**SCALE: 1" = 30'**  
 0 30 60 90

END PAVEMENT  
 MATCHLINE



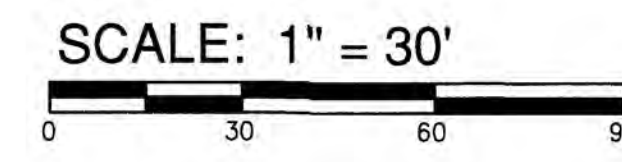
**GRADING, DRAINAGE AND EROSION CONTROL PLAN**  
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 NEW HANOVER COUNTY

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**NORRIS & TUNSTALL**  
 CONSULTING ENGINEERS P.C.  
 1900 EASTWOOD RD., SUITE #11 1429 ASH-LITTLE RIVER RD. NW  
 WILMINGTON, NC 28405  
 PHONE (910) 343-9635

Licence #C-3641  
**18128**  
 DES. JST  
 CKD. JPN  
 DRWN. NKS  
 DATE 2/24/20

- NOTES:**
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  2. TOP OF DROP INLET REFERS TO GRATE ELEVATION.



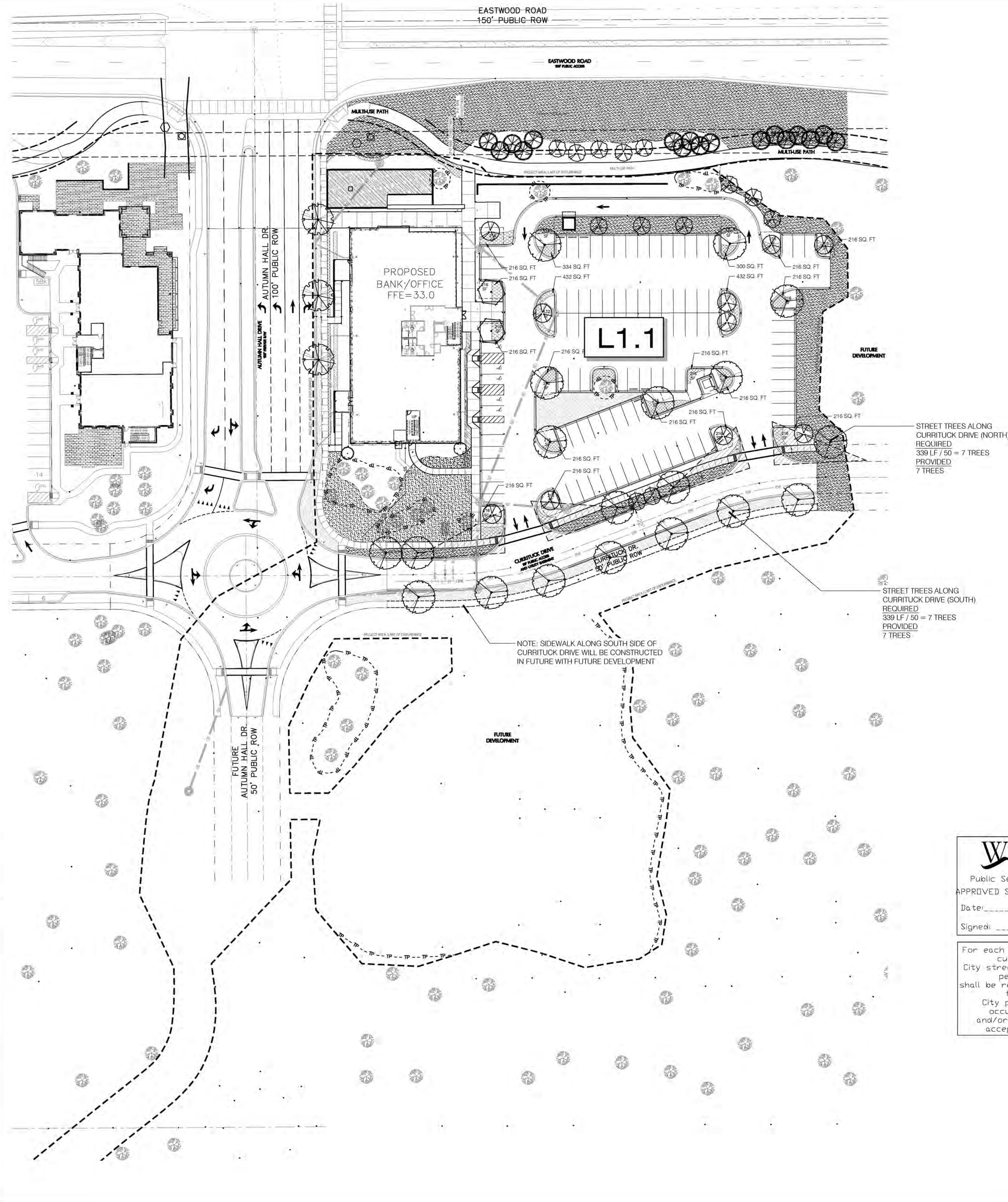
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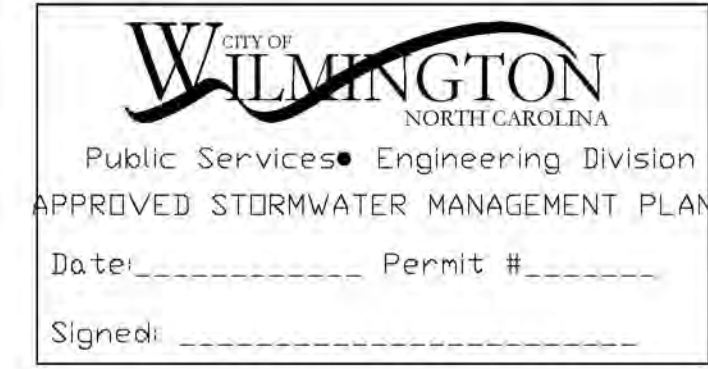
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 Name: \_\_\_\_\_  
 Title: \_\_\_\_\_  
 Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_  
**APPROVED CONSTRUCTION PLAN**  
 Jeff Walton  
 4/3/2020  
 City SW# 2006046R13

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

**C2.2**

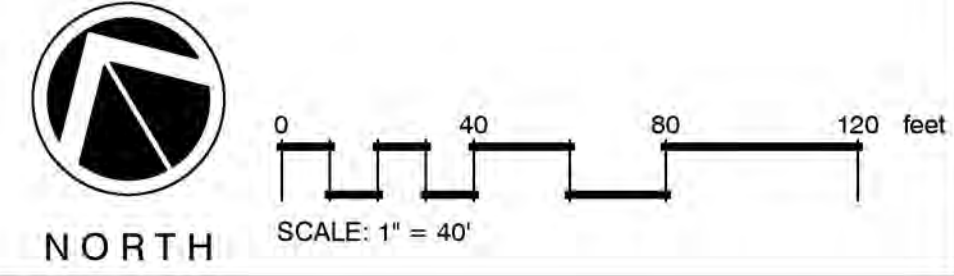


SITE DATA			
ADDRESS	1202 EASTWOOD ROAD		
PARCEL ID	RO5000-004-147-000		
EXISTING ZONING	MX / SHOD		
PROJECT AREA (PHASE 1)	8.19 AC (356,943 SF)		
CAMA LAND USE	WATERSHED RESOURCE PROTECTION		
DISTURBED AREA LIMITS	5.27 AC		
LANDSCAPE REQUIREMENTS			
	REQUIRED PROVIDED		
<b>PARKING LOT CANOPY COVERAGE</b> (41,889 SF x 20%)	8,380 SF, 12 TREES	20 LARGE TREES	
<b>STREET YARD PLANTING</b> PRIMARY STREET YARD EASTWOOD ROAD (NORTH)	7306 SF (406 LF x 18) 23 (1,800 SF) = (1140 LF)	9,556 SF 33 PROPOSED CANOPY TREES	
TREES REQUIRED	73 (6,800 SF)	73 PROPOSED SHRUBS	
<b>FOUNDATION PLANTING</b> 12% FACADE AREA (ADJ. TO PARKING/DRIVE AISLE)			
<b>BANK / OFFICE</b>			
WEST	728 SF (164 LF x 37 HT x 12)	2020 SF	
EAST	728 SF (164 LF x 37 HT x 12)	749 SF	
NORTH	373 SF (84 LF x 37 HT x 12)	1068 SF	
SOUTH	373 SF (84 LF x 37 HT x 12)	5974 SF	
<b>RETAINED TREES COUNTED TOWARD MINIMUM REQUIRED</b>			
QUANTITY	SIZE	COMMON NAME	CREDITS
2	6"	PINE	
1	10"	PINE	
4	12"	PINE	
2	13"	PINE	
7	14"	PINE	
2	15"	PINE	
2	16"	PINE	
TOTAL TREE CREDITS (200 / 6 = 43)			43 CREDITS
NOTE: ALL TREES TO BE REMOVED ARE ESSENTIAL.			
TREE REQUIREMENTS PER DISTURBED ACRE			
15 TREES PER DISTURBED ACRE MUST BE RETAINED OR PLANTED ON SITE.			
REQUIRED:	5.27 ACRES DISTURBED x 15 TREES = 79 TREES REQUIRED		
PROVIDED:	64 TREES PLANTED - REFER TO PLANTING LEGEND		
TOTAL:	16 TREES RETAINED ON SITE		
	60 TREES PROVIDED		

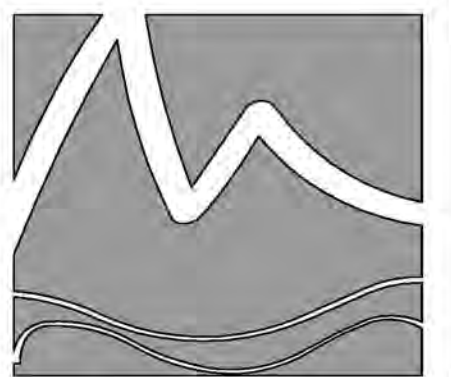


Approved Construction Plan		Date
Planning	APPROVED CONSTRUCTION PLAN	
Public Utilities	Jeff Walton	
Traffic	4/3/2020	
Fire	City SW# 2006046R13	

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SYMBOL LEGEND			
	PROPERTY BOUNDARY		TREES UTILIZED TO MEET PARKING LOT ISLAND SHADE REQUIREMENTS
	MATCHLINE		SITE TRIANGLE, TYP.
	LIMIT OF DISTURBANCE		STREET LIGHTS, TYP.
	EXISTING TREES TO REMAIN		TREE PROTECTION FENCING



**MIHALY**  
LAND DESIGN  
PLANNING + LANDSCAPE ARCHITECTURE  
330 MILITARY CUTOFF RD., SUITE A3  
WILMINGTON, NC 28403

Revisions  
2020-03-26: MOVE STREET TREE AWAY FROM STORM DRAIN  
2020-04-01: PER COW COMMENTS

**CLIENT**  
**CAPE FEAR COMMERCIAL, LLC**  
1051 MILITARY CUTOFF RD., SUITE 200  
WILMINGTON, NC  
CONTACT: MIKE BROWN

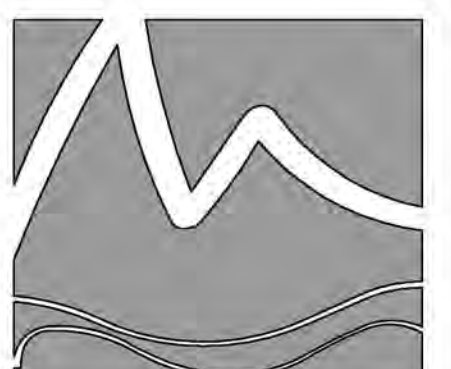
**PROJECT**  
**AUTUMN HALL COMMERCIAL**  
1202 EASTWOOD ROAD  
WILMINGTON, NC  
LANDSCAPE PLAN

CONSTRUCTION DOCUMENT REVIEW SET

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Phase:  
Job Number: 400-24  
Designed by: MLD  
Drawn by: MAS  
Checked by: JWM

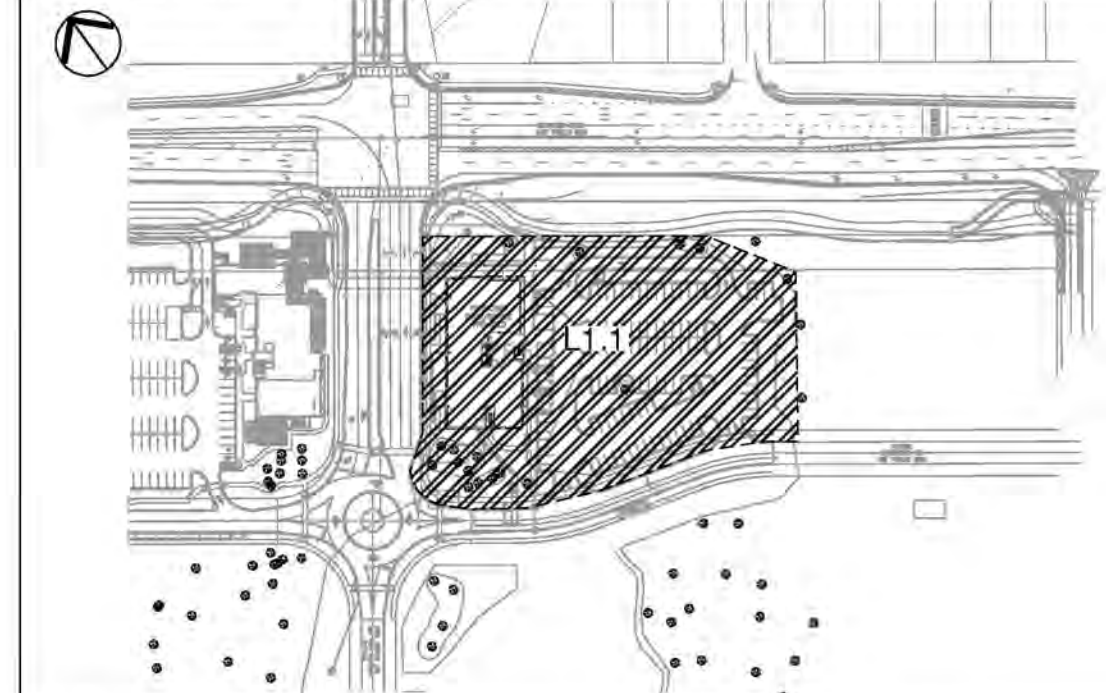
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PLANTING PLAN

Sheet Number:  
**L1.0**  
of 2 sheets



**MIHALY**  
LAND DESIGN  
PLANNING + LANDSCAPE ARCHITECTURE  
330 MILITARY CUTOFF RD., Suite A3  
Wilmington, NC 28405 910.392.4355

KEY MAP NOT TO SCALE



**PLANT SCHEDULE BANK**

TREES	BOTANICAL / COMMON NAME	CONT.	CAL.	RANGE	MIN. REQ. SIZE	QTY
	Betula nigra / River Birch / Dunbar	8 & B	3" CAL	10-12' HT	2-2.5' CAL	11
	Ilex x 'Eagleston' / Eagleston Holly	8&B	1.5"-2" CAL	6-10' HT	6-10' HT	2
	Ilex x 'Nelle R Stevens' / Nelle Stevens Holly	8 & B		6-10' HT		1
	Lagerstroemia x 'Natchez' / Natchez Crepe Myrtle	8 & B	3" CAL	6-10' HT	2-2.5' CAL	13
	Magnolia s. 'Little Gem' / Dwarf Southern Magnolia	30 GAL	2" CAL	7-8' HT		1
	Pinus palustris / Longleaf Pine		3" CAL		2-2.5' CAL	17
	Quercus virginiana / Southern Live Oak	8 & B	4" CAL		2-2.5' CAL	16
SHRUBS	BOTANICAL / COMMON NAME	SIZE	RANGE	MIN. REQ. SIZE	QTY	
	Abelia x grandiflora 'Rose Creek' / Rose Creek Abelia	3 gal	16-24" HT		40	
	Azalea L. 'Formosa' / Formosa Azalea	3 gal	16-24" HT		43	
	Buxus m. 'Wintergreen' / 10 gal. Boxwood	10 gal	24-30" HT		31	
	Buxus m. 'Wintergreen' / 3 gal. Boxwood	3 gal	12-18" HT		112	
	Calceolaria gigantea / Giant Elephant Ear	3 gal			10	
	Delphinium myriophyllum 'Cinnamon Girl'	3 gal	24-36" HT		16	
	Ligustrum l. 'Recurvifolium' / Wax leaf Ligustrum	7 gal	36" HT		45	
	Ligustrum japonicum / Tree Fern Ligustrum	8&B	6-8' HT		7	
	Miscanthus s. 'Adagio' / Adagio Eulalia Grass	3 gal	16-24" HT		37	
	Muhlenbergia capillaris / Pink Muhly	3 gal	16-24" HT		27	
	Nandina domestica 'Firepower' / Heavenly Bamboo	3 gal	15-24" HT		16	
	Podocarpus macrophyllus 'masi' / Shabby New	7 gal	3-4' HT		48	
	Rosa x 'Knockout' 'TM' / Rose	7 gal	16-24" HT		10	
	Rosa x 'Meiglotto' / Red Drift Rose	3 gal	12-15" HT		63	
	Sabal minor / Dwarf Palmetto	3 gal	16-24" HT		72	
	Viburnum odoratissimum / Sweet Viburnum	15 gal	3-4' HT		33	
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	RANGE	SPACING	QTY	
	Liriope gigantea / Giant Liriope	1 GAL	12-18" HT	24" o.c.	545	
	Liriope muscari / Lily Turf	1 GAL	6-12" HT	18" o.c.	656	
	Ruellia brittaniana / Mexican Petunia	3 gal	15-24" HT	24" o.c.	50	
	Trachelopogon s. 'Astetic' / Astetic Jasmine	1 gal	6-12" HT	18" o.c.	354	

**Revisions**  
2020-02-26: MOVE STREET TREE AWAY FROM STORM DRAIN  
2020-04-01: PER COW COMMENTS

**CLIENT**  
**CAPE FEAR COMMERCIAL, LLC**  
1051 MILITARY CUTOFF RD., SUITE 200  
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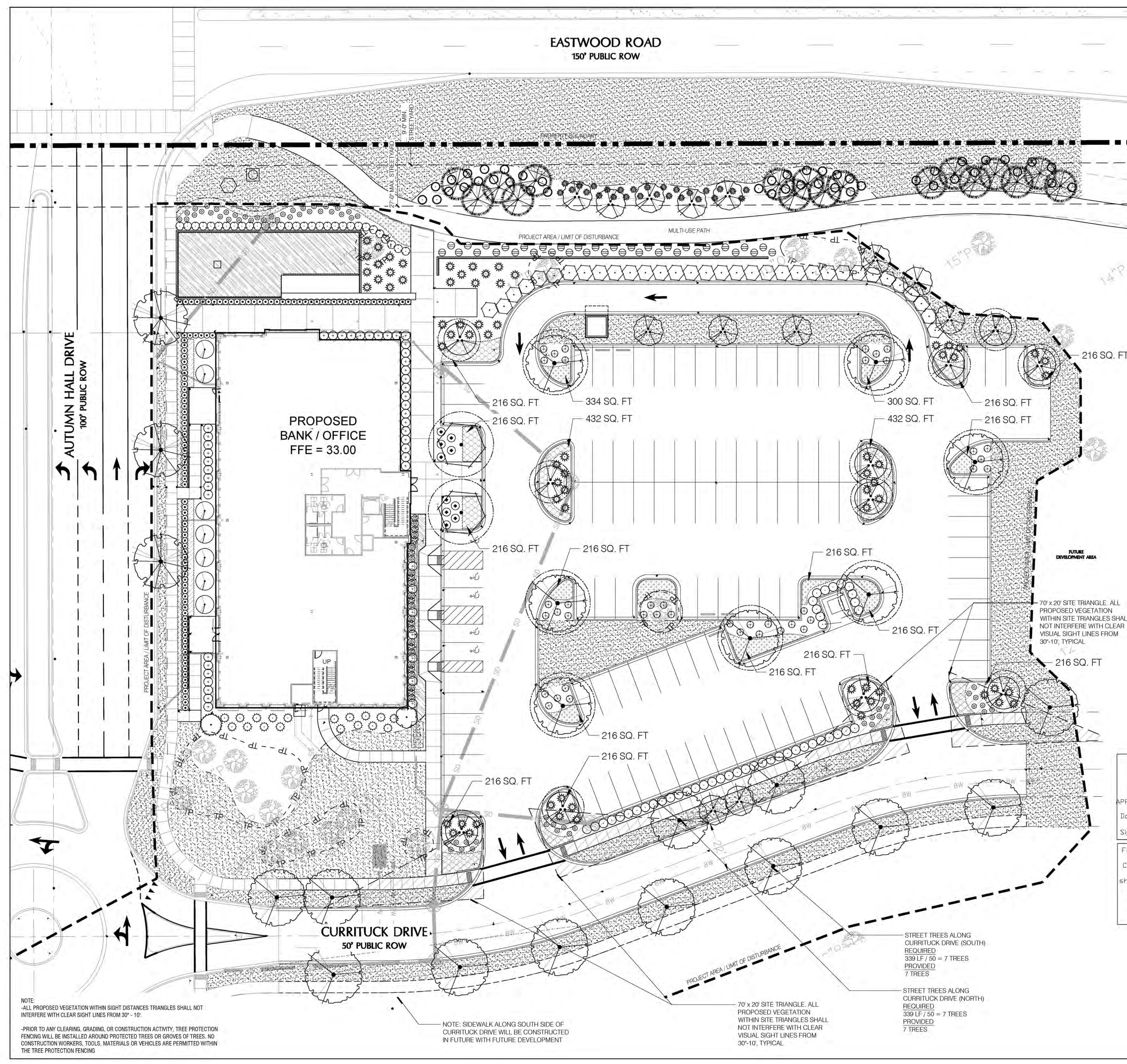
**PROJECT**  
**AUTUMN HALL COMMERCIAL**  
1202 EASTWOOD ROAD  
WILMINGTON, NC  
LANDSCAPE PLAN

**CONSTRUCTION DOCUMENT REVIEW SET**

Date: 2020-02-24  
Phase:  
Job Number: 400-24  
Designed by: MLD  
Drawn by: MAS  
Checked by: JMM

Sheet Title: **PLANTING PLAN**

Sheet Number:  
**L1.1**  
of 2 sheets



**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**Approved Construction Plan**  
Date: \_\_\_\_\_  
APPROVED CONSTRUCTION PLAN  
Public Utilities: Jeff Walton  
Traffic: City SW# 2006046R13  
Fire: \_\_\_\_\_

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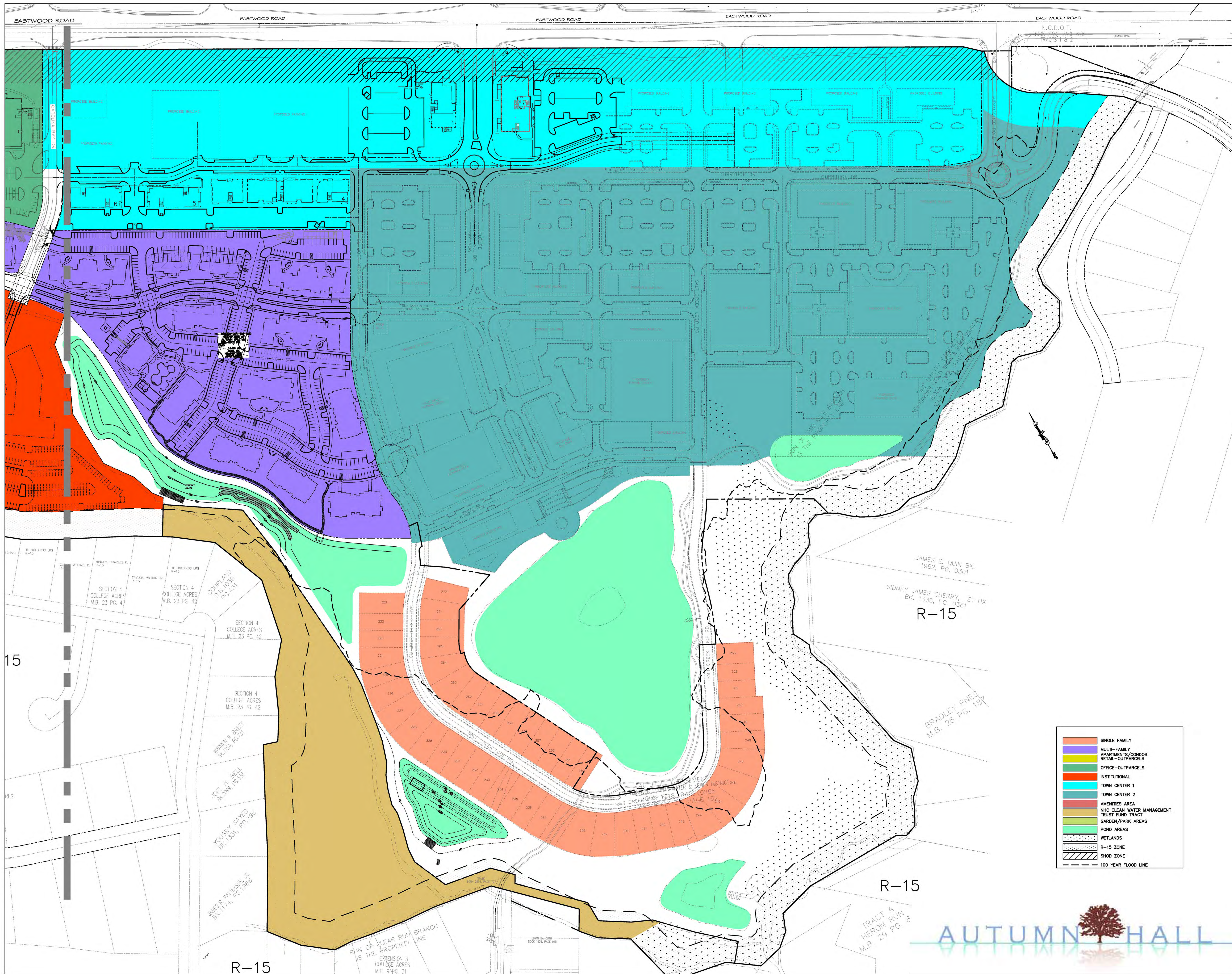


SCALE: 1" = 20'

**SYMBOL LEGEND**

	PROPERTY BOUNDARY		TREES UTILIZED TO MEET PARKING LOT ISLAND SHADE REQUIREMENTS
	MATCHLINE		SITE TRIANGLE, TYP.
	LIMIT OF DISTURBANCE		STREET LIGHTS, TYP.
	EXISTING TREES TO REMAIN		TREE PROTECTION FENCING





RAMEY KEMP & ASSOCIATES, INC.  
TRANSPORTATION ENGINEERS



Wilmington  
North Carolina

# AUTUMN HALL TOWN CENTER

Wilmington  
North Carolina

## LAND USE PLAN

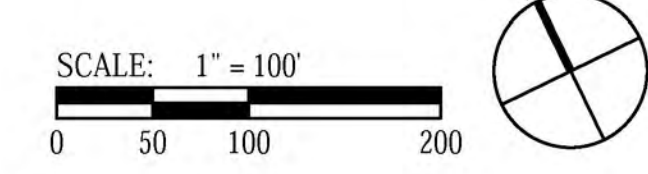
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50120 (NKT 05150)

Issued  
4/17/07

Revised

10/10/12  
5/30/19 AUTUMN HALL COMMERCIAL PH 1  
4/01/20 AUTUMN HALL BANK

	SINGLE FAMILY
	MULTI-FAMILY APARTMENTS/CONDOS
	RETAIL-OUTPARCELS
	OFFICE-OUTPARCELS
	INSTITUTIONAL
	TOWN CENTER 1
	TOWN CENTER 2
	AMENITIES AREA
	NHC CLEAN WATER MANAGEMENT TRUST FUND TRACT
	GARDEN/PARK AREAS
	POND AREAS
	WETLANDS
	R-15 ZONE
	SHOD ZONE
	100 YEAR FLOOD LINE

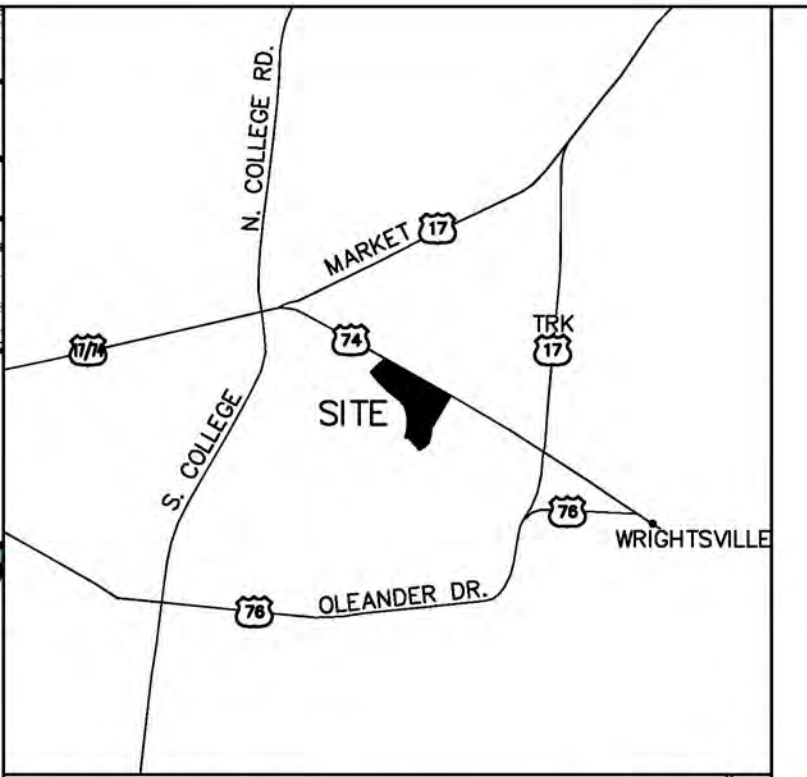
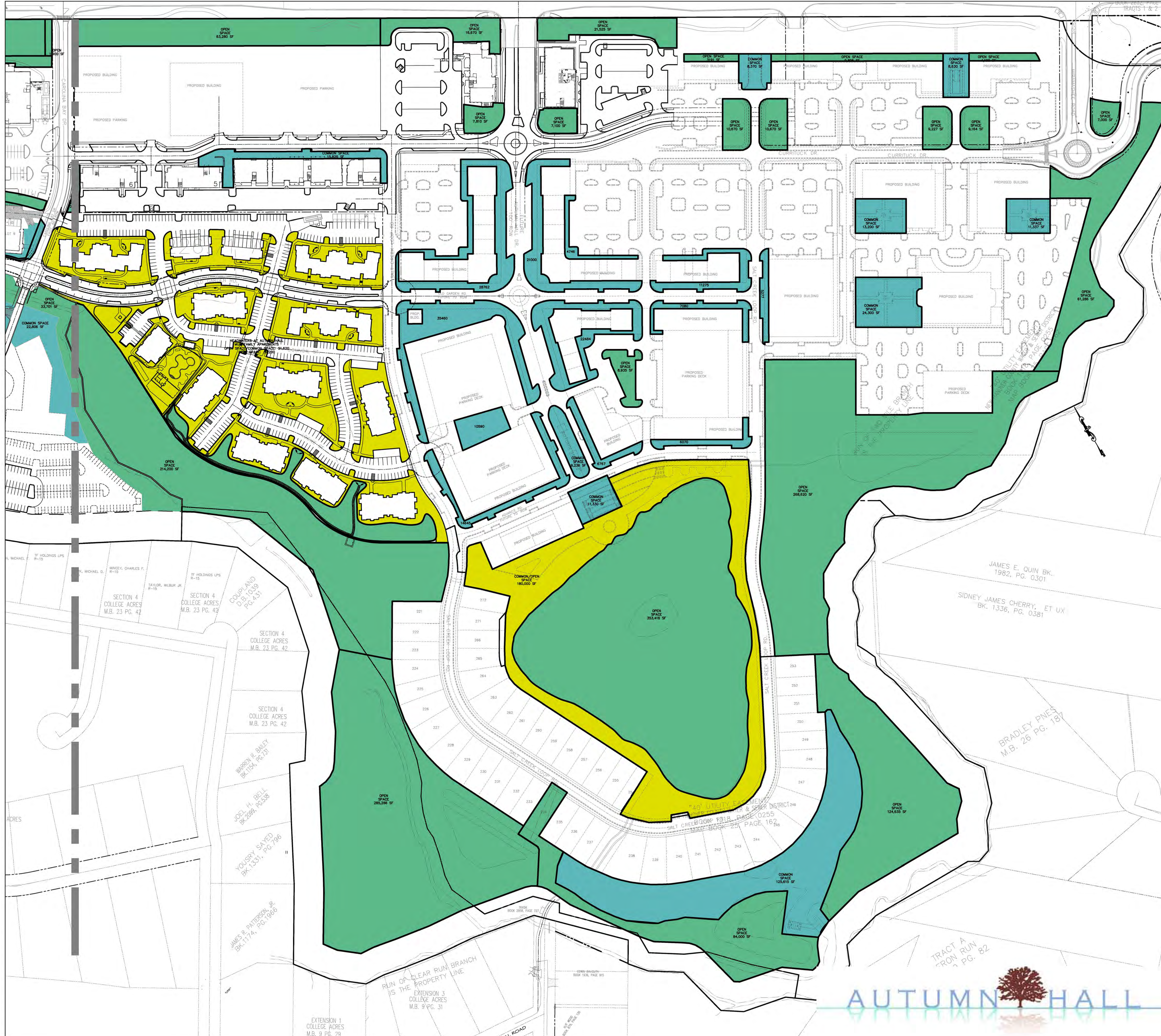


LU1.1

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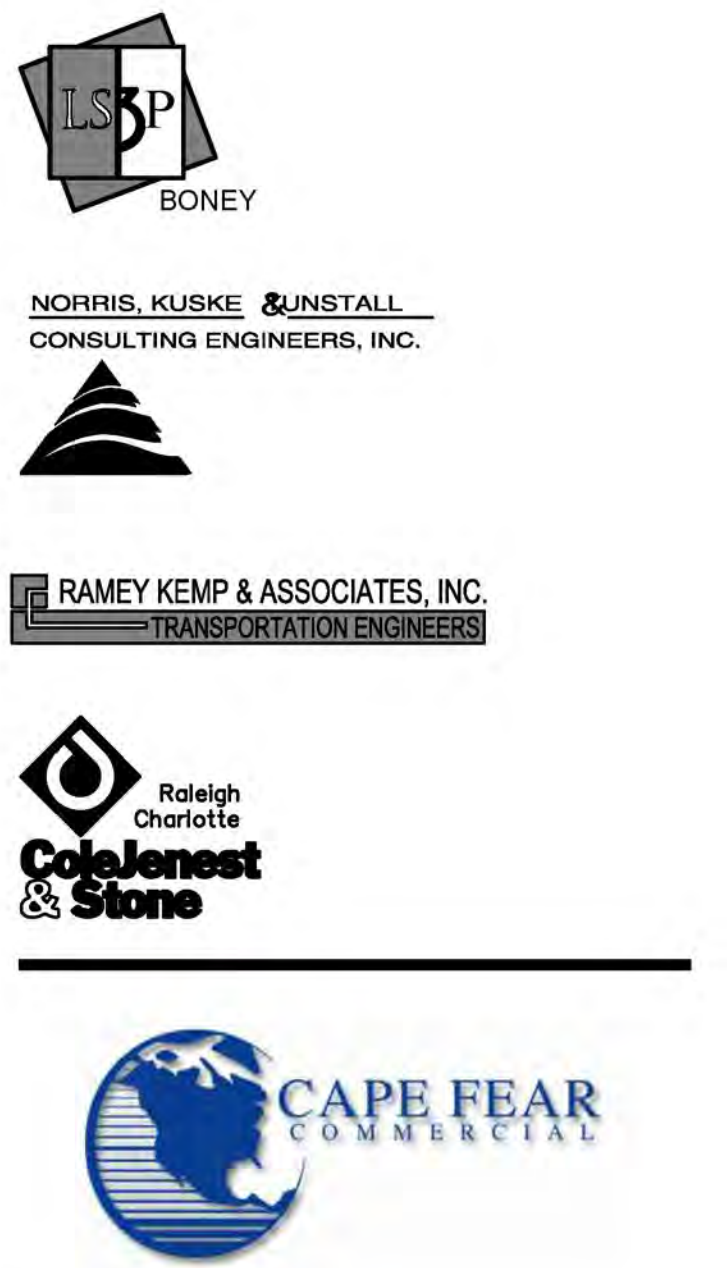
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VICINITY MAP N.T.S.  
 SURVEY DISCLAIMER:  
 BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM  
 "BOUNDARY SURVEY" BY ARNOLD CARSON, RLS, P.C.  
 406 N. 3RD ST. WILMINGTON, N.C. 28401, 910-772-9113

**LEGEND**

<span style="color: green;">■</span>	OPEN SPACE
<span style="color: blue;">■</span>	COMMON SPACE
<span style="color: yellow;">■</span>	OPEN SPACE/COMMON SPACE



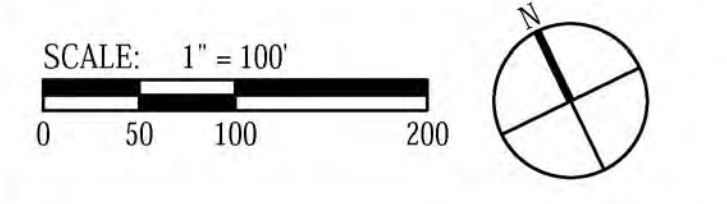
Wilmington  
 North Carolina  
**AUTUMN HALL  
 TOWN CENTER**

Wilmington  
 North Carolina

**OPEN SPACE  
 COMMON SPACE  
 PLAN**

Project No.  
 50120 (NKT 05150)  
 Issued  
 4/17/07

Revised  
 10/28/13  
 5/30/19 AUTUMN HALL COMMERCIAL PH 1  
 4/01/20 AUTUMN HALL BANK BUILDING



OS1.1

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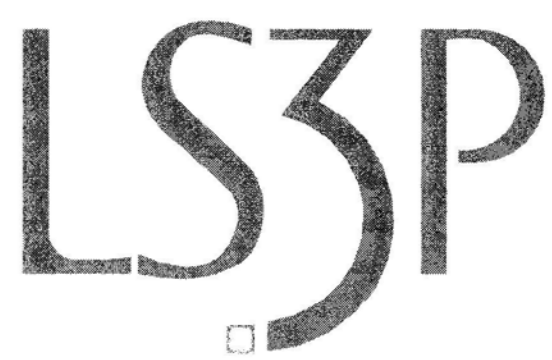


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AUTUMN HALL

AUTUMN HALL  
COMMERCIAL  
PHASE 1 - EAST  
MAIN ENTRANCE



101 NORTH THIRD STREET SUITE 500  
WILMINGTON, NORTH CAROLINA 28401  
TEL. 910.790.9901 FAX 910.790.3111  
WWW.LS3P.COM

PRELIMINARY  
NOT FOR CONSTRUCTION

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REVISIONS:

No.	Description	Date

PROJECT: 7101-180625  
DATE: 09.24.19  
DRAWN BY: DCWIENK  
CHECKED BY: DCW

EXTERIOR  
ELEVATIONS AND  
PERSPECTIVE  
VIEWS

A-201

19142

SCHEMATIC DESIGN

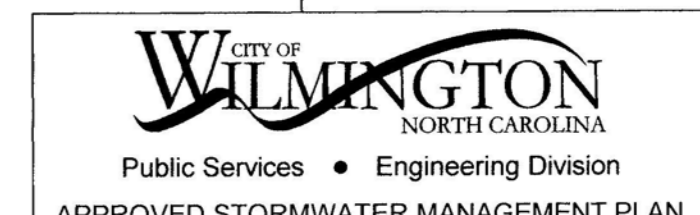


C1 SOUTH ELEVATION  
1/8" = 1'-0"



C4 ENTRANCE

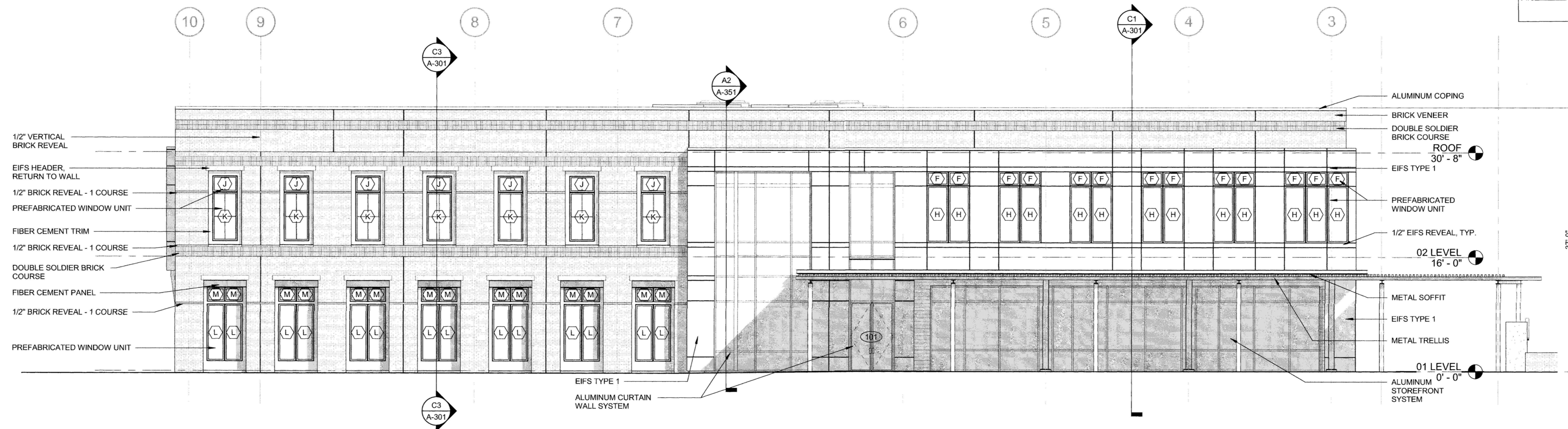
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Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

Approved Construction Plan

Planning	Name	Date
APPROVED	CONSTRUCTION PLAN	_____
Traffic	Jeff Walton	4/3/2020
Fire	City SW# 2006046R13	_____



A1 EAST ELEVATION  
1/8" = 1'-0"

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AUTUMN HALL

AUTUMN HALL  
COMMERCIAL -  
EAST MAIN  
ENTRANCE



101 NORTH THIRD STREET SUITE 500  
WILMINGTON, NORTH CAROLINA 28401  
TEL. 910.790.9901 FAX 910.790.3111  
WWW.LS3P.COM

PRELIMINARY  
NOT FOR CONSTRUCTION

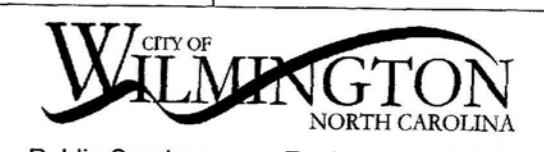
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REVISIONS:

No.	Description	Date

PROJECT: 7101-180625  
DATE: 03.20.20  
DRAWN BY: DCW/EJC  
CHECKED BY: DCW

For each open utility out of  
City streets, a \$325 permit  
shall be required from the  
City prior to occupancy  
and/or project acceptance.



Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning APPROVED  
Traffic CONSTRUCTION PLAN  
Fire City SW# 2006046R13

EXTERIOR  
ELEVATIONS AND  
PERSPECTIVE  
VIEWS

A-202

19142

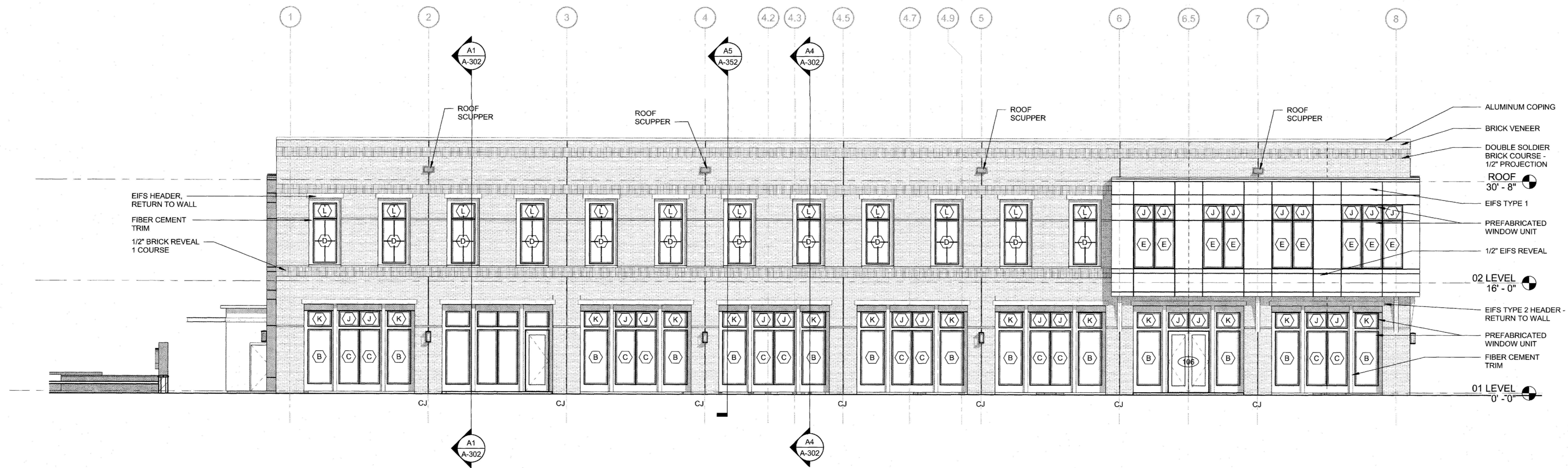
CONSTRUCTION DOCUMENTS



C4 VIEW FROM AUTUMN HALL DRIVE AND EASTWOOD



C1 NORTH ELEVATION  
1/8" = 1'-0"



A1 WEST ELEVATION  
1/8" = 1'-0"

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